



The City of  
**OKLAHOMA CITY**

2021 MAR 9 PM 12:54  
OKLAHOMA CITY CLERK

**Development Codes Update  
Stakeholder Advisory Team  
Special Meeting**

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**AGENDA 1:00 p.m. March 12, 2021**

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During the COVID-19 pandemic, no physical location will be provided for this meeting. The meeting will instead be live streamed from remote locations as allowed by SB 1031, 25 O.S. Supp. 2020 § 307.1 (C). Instructions on how to join the meeting can be found on the second page of this agenda.

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**TEAM MEMBERS**

Allison Barta-Bailey, Jessica Black, Todd Booze, Gary Brooks, Andy Burnett, Ofelia Cancio, Nathan Cao, Jorge Charneco, James Cooper, Scott Cravens, Joel Dixon, Jonathan Dodson, Clay Farha, Chris Fleming, Asa Highsmith, Julie Hornbeek, Andrew Hwang, A.J. Kirkpatrick, Mark Livingston, David Lloyd, Ricardo Montoya, Kenyon Morgan, Nikki Nice, Jim Parrack, Emily Pomeroy, Janis Powers, Deemah Ramadan, Todd Stone, Tim Strange, Bryce Thompson, Marcus Ude, Mark Zitzow

Geoff Butler, Planning Director  
Lisa Chronister, Assistant Director  
Sarah Welch, Program Planner  
Marilyn Lamensdorf, Associate Planner  
Mark Mishoe, Admin Coordinator  
Susan Randall, Municipal Counselor

**ALL MEMBERS ATTENDING THE MEETING BY VIDEO CONFERENCE**

PHONE 1(346)248-7799 cell phone  
Toll Free: 1(877)853-5257 or 1(888)475-4499 landline only  
Meeting ID: 924 9670 8024  
Join Zoom Meeting: <https://okc.zoom.us/j/92496708024>

## **PARTICIPANT INSTRUCTIONS**

### **VIDEO TELECONFERENCE MEETING**

The City encourages participation in the public meeting from the residents of Oklahoma City. The City Council Chamber will be closed and the only alternative to participate in the meeting will be by video teleconference. Below are instructions on how to access the meeting and how to request to speak on certain agenda items.

To participate in the meeting via ZOOM, go to **Meeting URL:**

<https://okc.zoom.us/j/92496708024>

When prompted, enter Meeting ID: **924 9670 8024**

- To participate in the meeting by cell phone, call **1(346)248-7799**
- To participate by land line toll free, call **1(877)853-5257 or 1(888)475-4499**
- To speak on a certain agenda item, place a call in advance of the meeting to (405)297-2406 or e-mail [mark.mishoe@okc.gov](mailto:mark.mishoe@okc.gov). Include your name, the agenda item number and the reason you would like to speak (protest, representing applicant, request continuance, i.e.). **Please submit your request prior to the beginning of the meeting to avoid receiving your request after your item has been considered.** City staff will attempt to submit requests received during the meeting to the Chair. Please press \*6 to speak when recognized by the Chair.

The Chair will announce at the beginning of the meeting that if connections are lost, the City will attempt to restore communications for a maximum of 30 minutes and if communications cannot be restored, the meeting will reconvene at a certain date, time and place. If you are disconnected from the video conference, please try again before calling 405-297-2406.

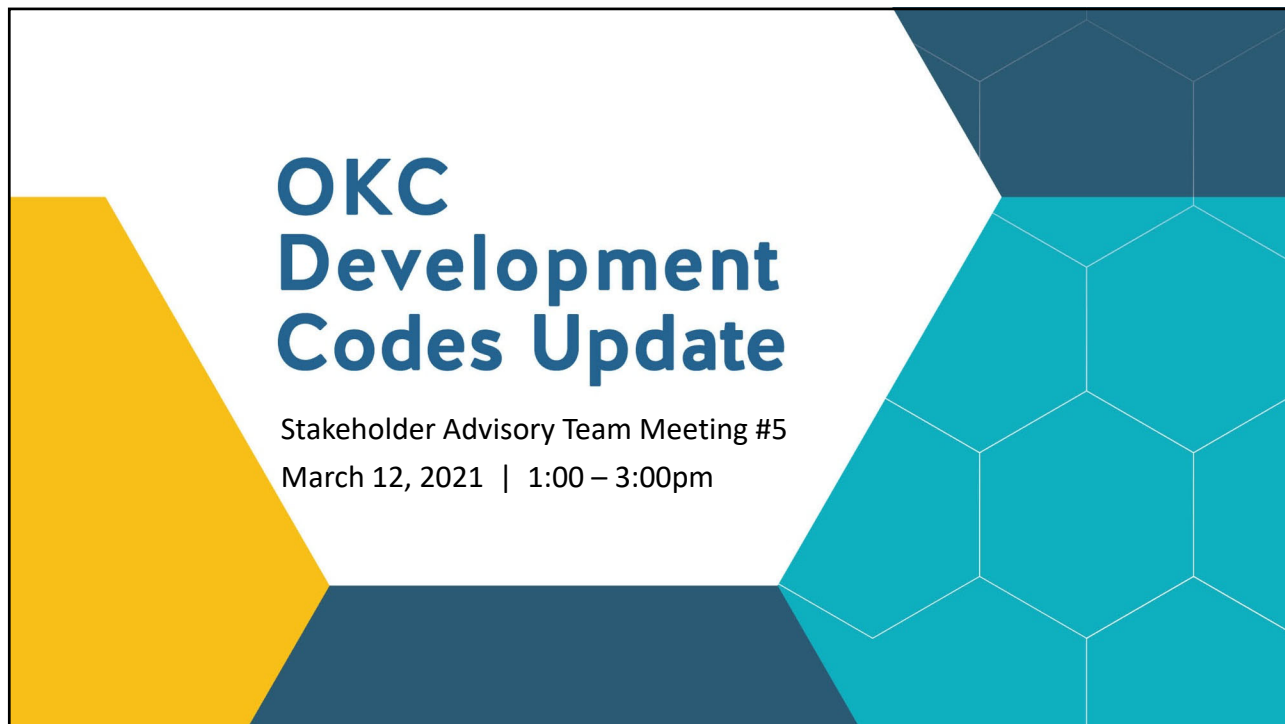
It is the policy of the City to ensure that communications with participants and members of the public with disabilities are as effective as communications with others. Anyone with a disability who requires an accommodation, a modification of policies or procedures, or an auxiliary aid or service, or alternate format of the agenda in order to participate in this meeting should contact the ADA Coordinator of the Planning Department at 405-297-2406 or TDD (405) 297-2020 as soon as possible but not later than 48 hours (not including weekends or holidays) before the scheduled meeting. The Planning Department will give primary consideration to the choice of auxiliary aid or service requested by the individual with disability.

**Stakeholder Advisory Team**

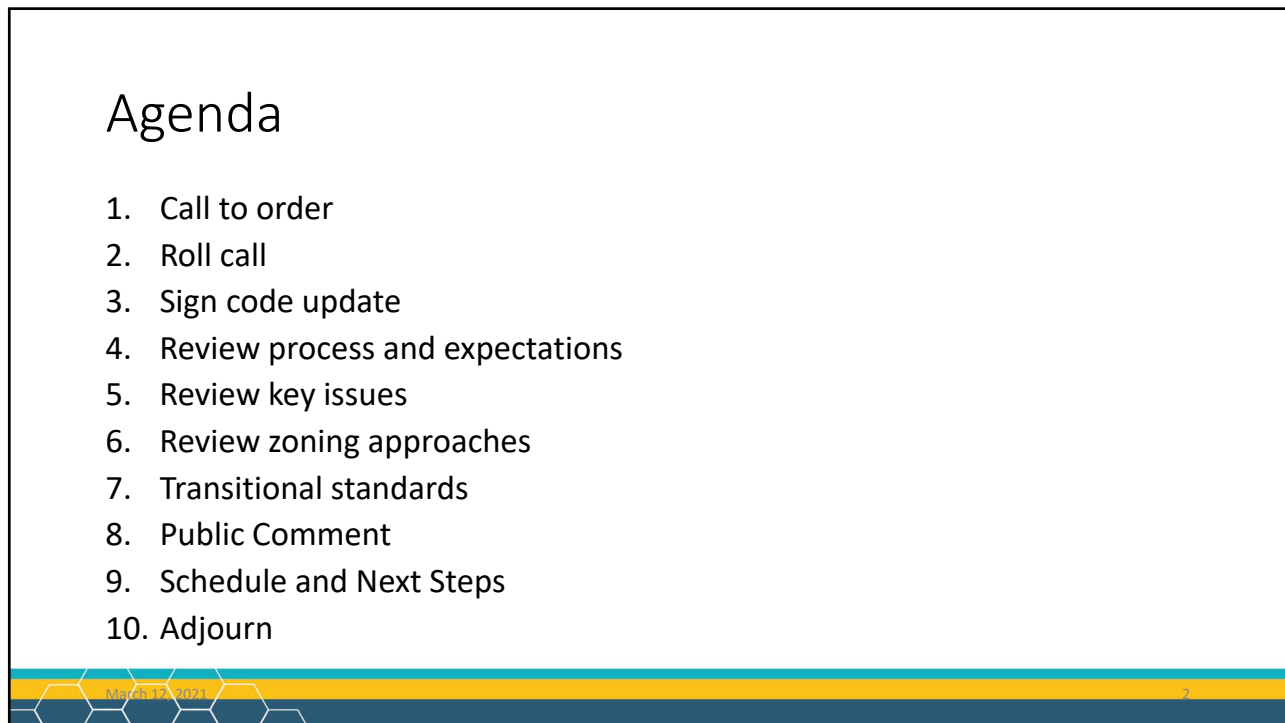
March 12, 2021 Special Meeting

Agenda - Page 3 of 3

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **SIGN CODE UPDATE**
4. **REVIEW PROCESS AND EXPECTATIONS**
5. **REVIEW KEY ISSUES**
6. **REVIEW ZONING APPROACHES**
7. **TRANSITIONAL STANDARDS**
8. **PUBLIC COMMENT**
9. **SCHEDULE & NEXT STEPS**
10. **ADJOURN**



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# Sign Code Update

## Development Codes Update Project

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## Outreach

- Additional industry group meetings (retail, outdoor advertising, signs, realtors)
- Additional industry group meetings (retail, outdoor advertising, signs, realtors)
- Individual discussions & follow-up
- Policy Committee discussion
- Council Member discussion
- Artists workshop
- Staff workshops (code enforcement)
- Planning Commission informational presentations
- Design Review informational presentation



The screenshot shows a webpage titled "PLANNING DEPARTMENT" with a sub-header "DEVELOPMENT CODES UPDATE". It features a navigation menu on the left, a main content area with an "Overview" section, and a "Department Contacts" sidebar on the right. The "Overview" section states that the department is managing a multi-phase project to update the city's development-related codes, including the Zoning and Planning Code, Sign Code, and Subdivision Regulations. It mentions that changes are intended to implement the city's comprehensive plan and address challenges with existing regulations. The "Get Involved" section includes links to sign up for email updates and submit feedback about existing codes and regulations. The "Department Contacts" sidebar lists Erika M. Christner, FAIA, AICP, LEED AP, Assistant Planning Director, and Sarah Welch, AICP, Program Planner, with their respective phone numbers and email addresses. There are also links for "Downloads & Resources" including "Sign Code Draft 2020.11.08" and "Sign Code Draft 2020.11.08 Change Order".

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## Schedule & Next Steps

- Policy Committee **Spring 2021**
- Public comment period **Spring 2021**
- Design Review: **Summer 2021**
- Planning Commission **Summer 2021**
- City Council **Summer 2021**



## Project purpose and expectations

Development Codes Update Project

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## Project Purpose

- Implement **planokc** recommendations
- Improve the efficiency and outcomes of development
- Make the development process easier to navigate and administer
- Areas of focus:
  - Chapter 59 Planning and Zoning Code
  - Subdivision Regulations
  - Sign Code
  - Coordination with Drainage Code and Nuisance Codes

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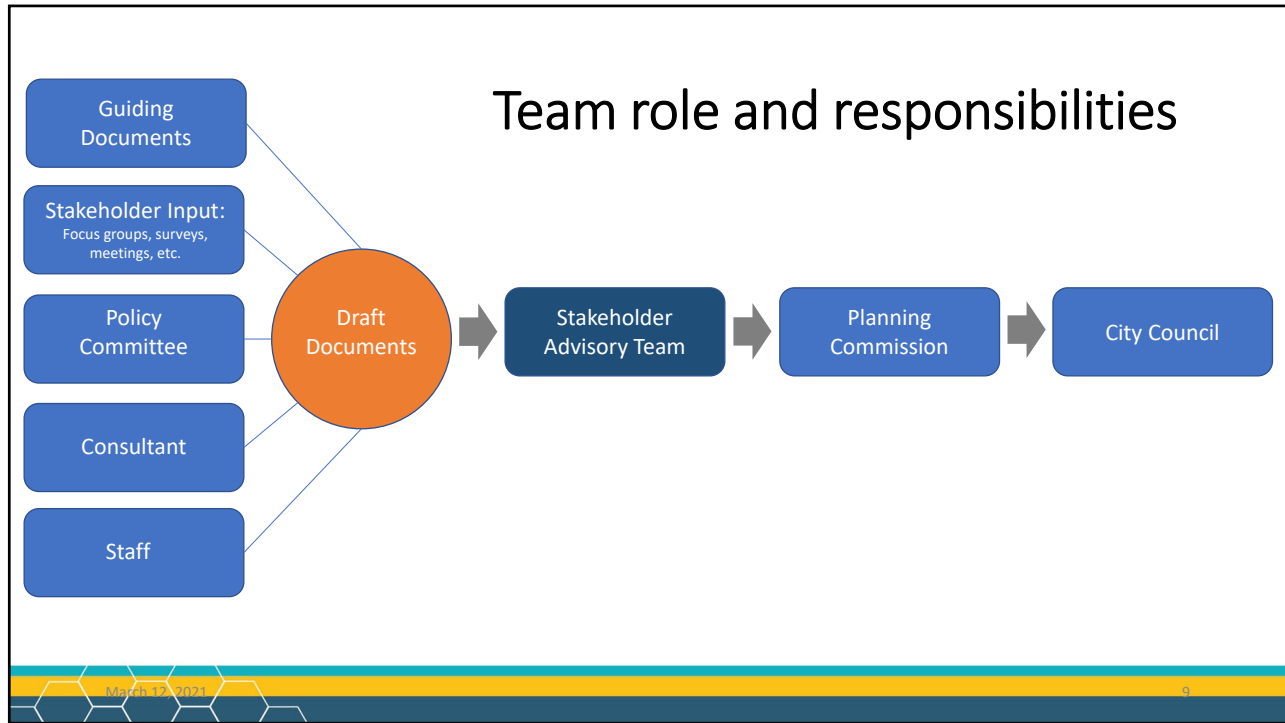
## Team Role and Responsibilities

- Examine **key elements and technical aspects** of the project; review & comment on drafts:
  - Consultant team's assessment of the current code
  - Structure and components of the proposed code, including development standards, administrative procedures, graphics, and maps;
  - Alignment with the comprehensive plan; and
  - Public input
  - Identify additional data or information needs
- Ask questions
- Build support

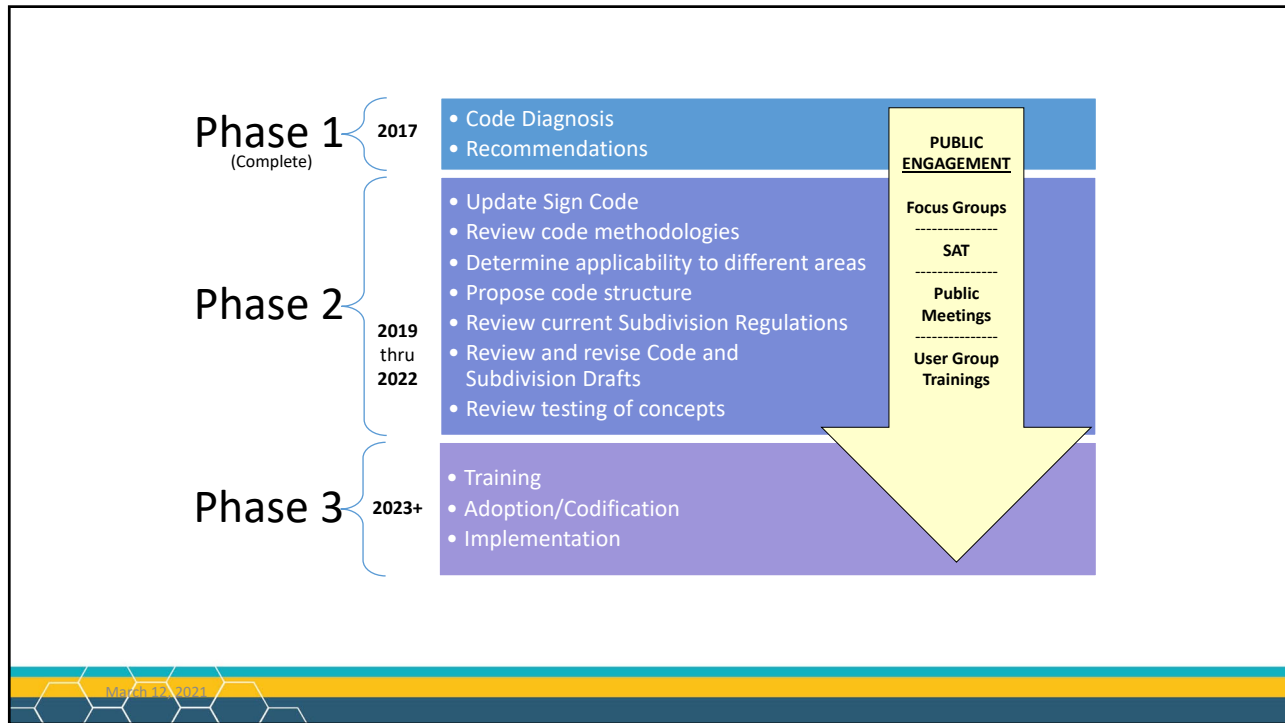
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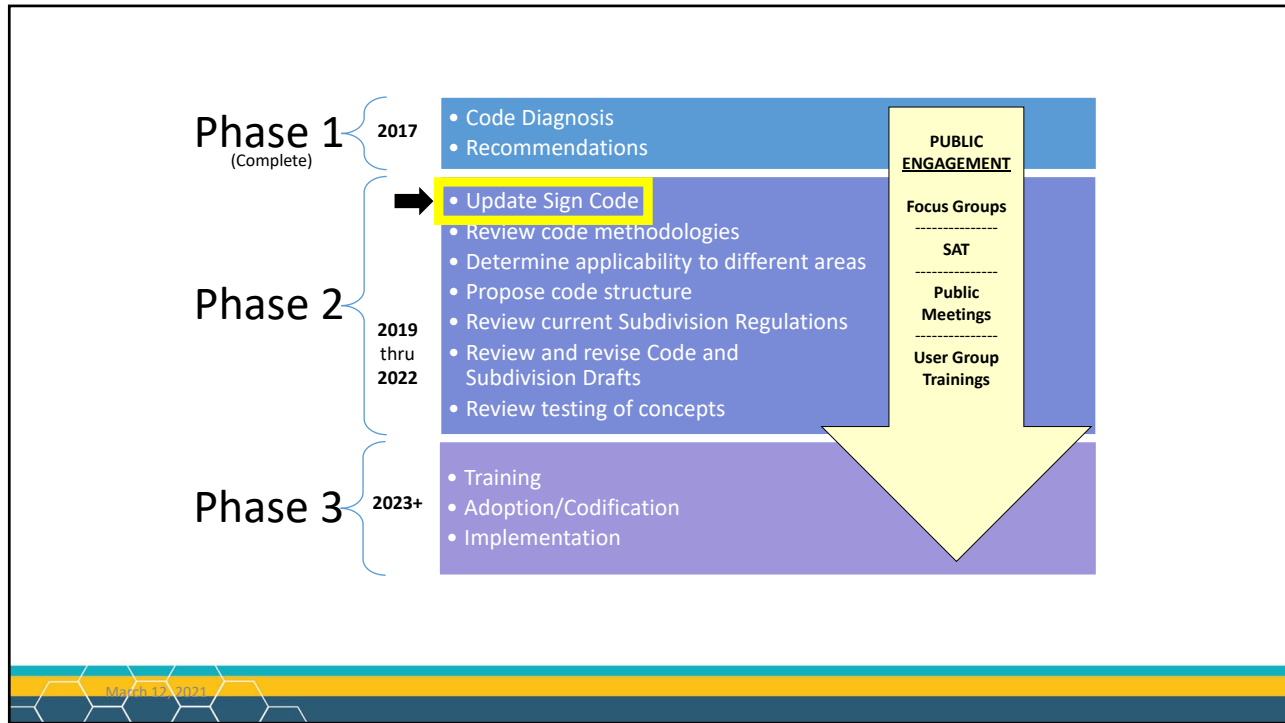


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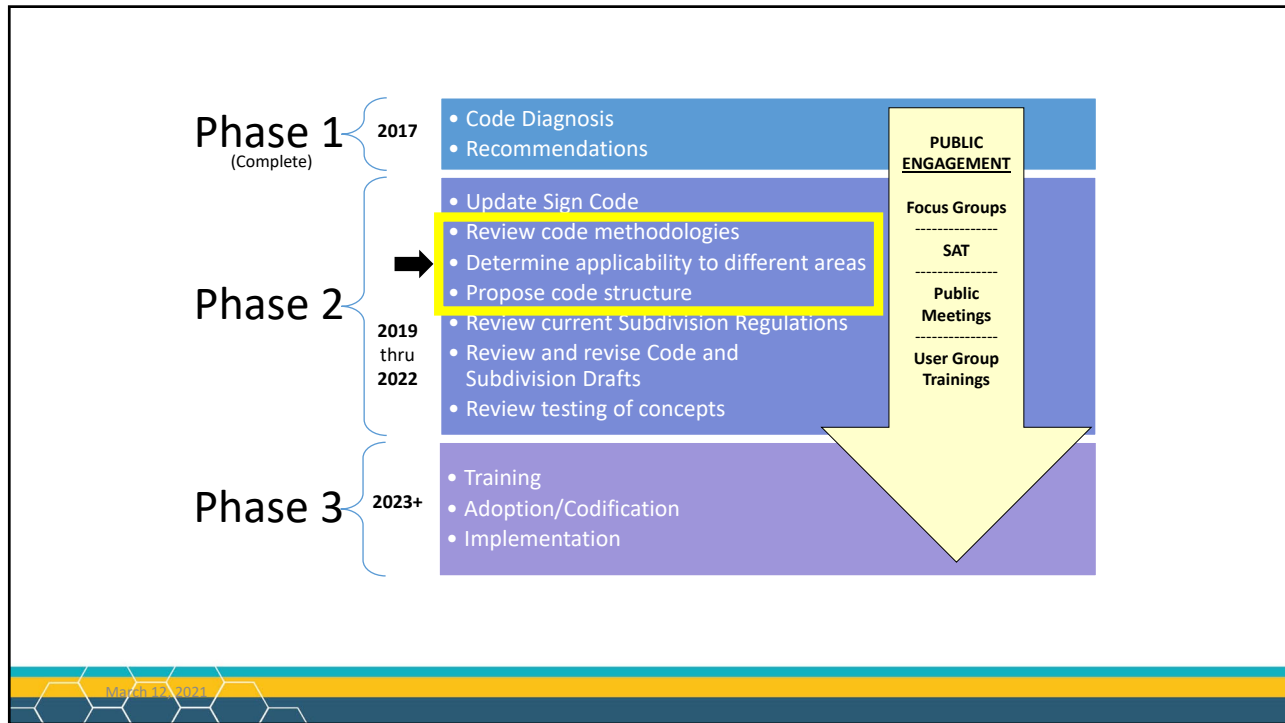


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# Key Issues

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## Guiding Principles

- Comprehensive framework
- User-friendly
- Community support
- Make the right things easy
- Updated with best practices
- Right-size
- Integrated
- Clear processes
- Avoid nonconformities
- Effective enforcement

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# Overview of planokc and Phase 1 Report



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## Major themes

### TRANSPORTATION CHOICE & MOBILITY



*Develop a transportation system that works for everyone.*

### HOUSING CHOICE



*Increase housing choice and diversity for all lifestyles.*

### HEALTHY CITIZENS



*Build an urban environment that facilitates health and wellness.*

### COMMUNITY ATTRACTIVENESS



*Develop great places that attract people and catalyze development and innovation.*

### THRIVING NEIGHBORHOODS



*Ensure stable, safe, attractive, and vibrant neighborhoods.*

### EFFICIENT DEVELOPMENT



*Develop efficiently to achieve fiscal sustainability and improve our quality of life.*

### NATURAL CHARACTER

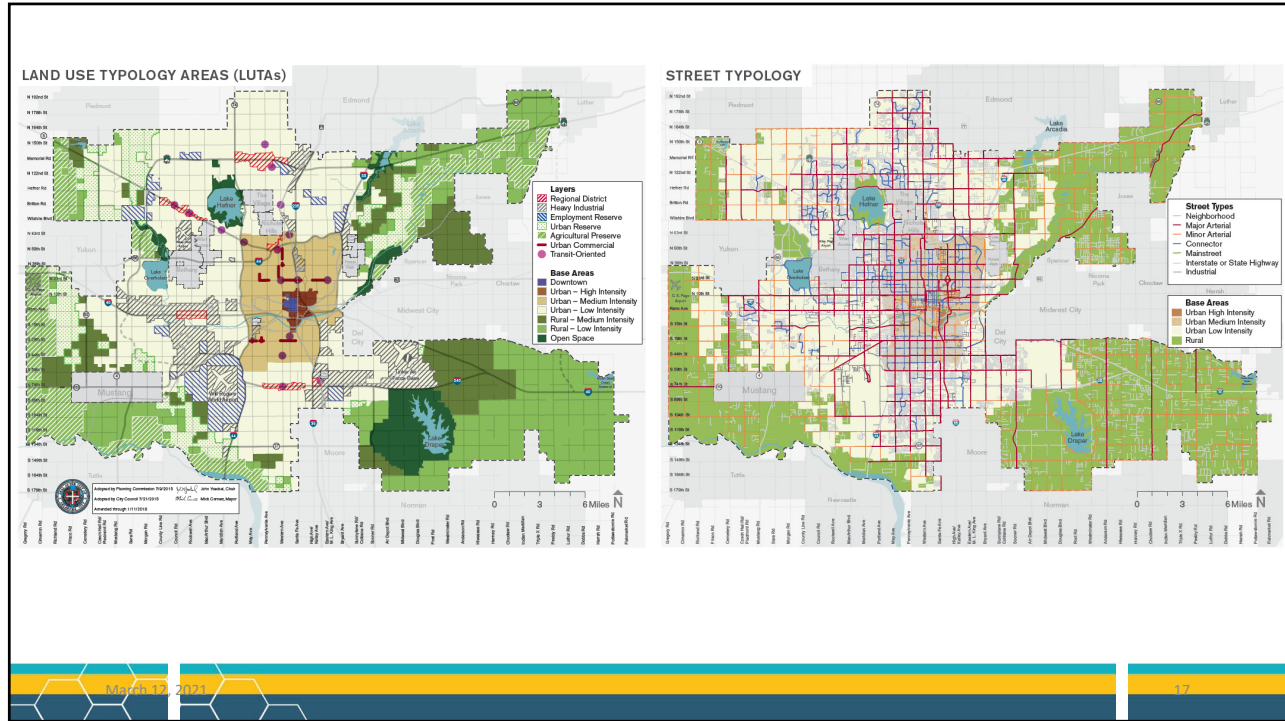


*Preserve rural character and natural resources.*

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# Phase 1: Recommendations

Highly Graphic and User-Friendly Layout  
Unified Development Code

- Form-Based Zoning
- Updated Conventional Zoning
- Subdivision Regulations

Context-sensitive Civic and Open Spaces  
Clear procedures for administration and review  
Consolidated Nuisance Standards

**10-40.40.080**  
T4 Neighborhood 2 (T4N.2) Standards

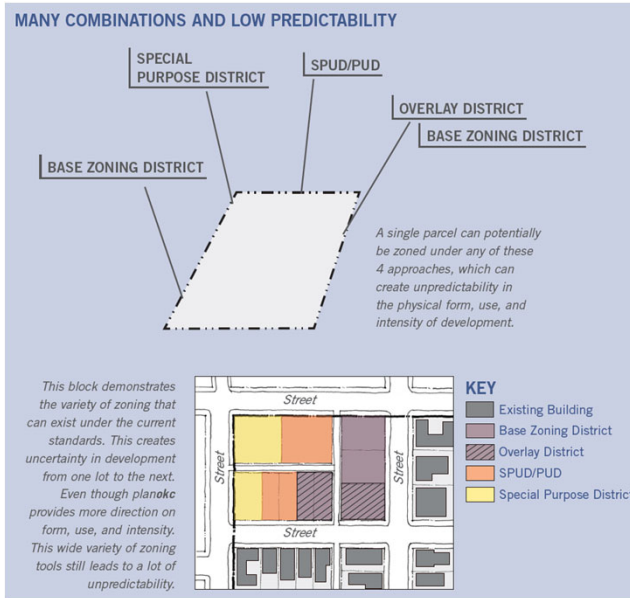
**Key**  
 --- ROW/Property Line  
 --- Building Setback Line  
 ■ Building Area  
 ■ Facade Area

D. Building Placement		E. Building Form <sup>1</sup>	
<b>Setback (Distance from ROW/Property Line)</b>			
Principal Building	5' min.; 12' max.	<b>Height</b>	Principal Building
Front <sup>2</sup>	5' min.; 12' max.	○ Stories	4 Stories max.
Front facade within area	50% min.	○ To Eave/Parapet	40' max.
Side Street/Civic Space	10' min.; 15' max.	○ Overall	52' max.
Side <sup>3</sup>	3' min.	○ Outbuilding	2 Stories max.
Rear	3' min.	○ To Eave/Parapet	18' max.
Outbuilding	20' min.	○ Overall	28' max.
Front	0' min.; 3' max.	○ Ground Floor Finish Level	18" min. above sidewalk
Side	3' min.	○ Ground Floor Ceiling	5' min. clear
Rear	3' min.	○ Upper Floor <sup>4</sup> Ceiling	8' min. clear

<sup>1</sup>Setback may match an existing adjacent building as follows. The building may be set to align with the facade of the frontmost immediately adjacent property, for a width no greater than that of the adjacent property's facade that encroaches into the minimum setback.  
<sup>2</sup>No side setback required between townhouse and/or fire/work building types.  
<sup>3</sup>Miscellaneous  
 Upper-floor units must have a primary entrance along a street or courtyard facade.  
 Ground-floor residential units along a street must have individual entries.  
<sup>4</sup>See Division 10-50.100 (Specific to Building Type) for additional building form regulations.  
**Footprints**  
 Depth, ground-floor residential 30' min. space along primary street frontage  
 Lot Coverage 80% max.  
**Miscellaneous**  
 Mansard roof forms are not allowed.

10-74 Flagstaff Zoning Code

# Diagnosis

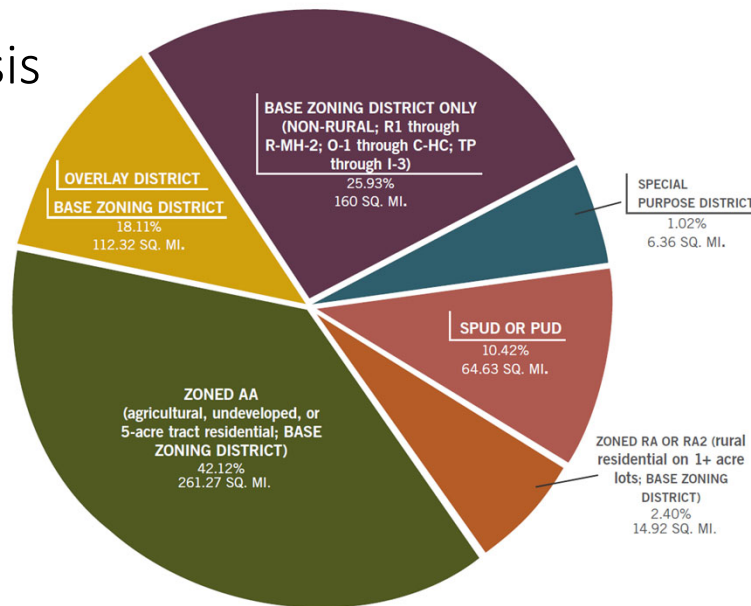


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# Diagnosis



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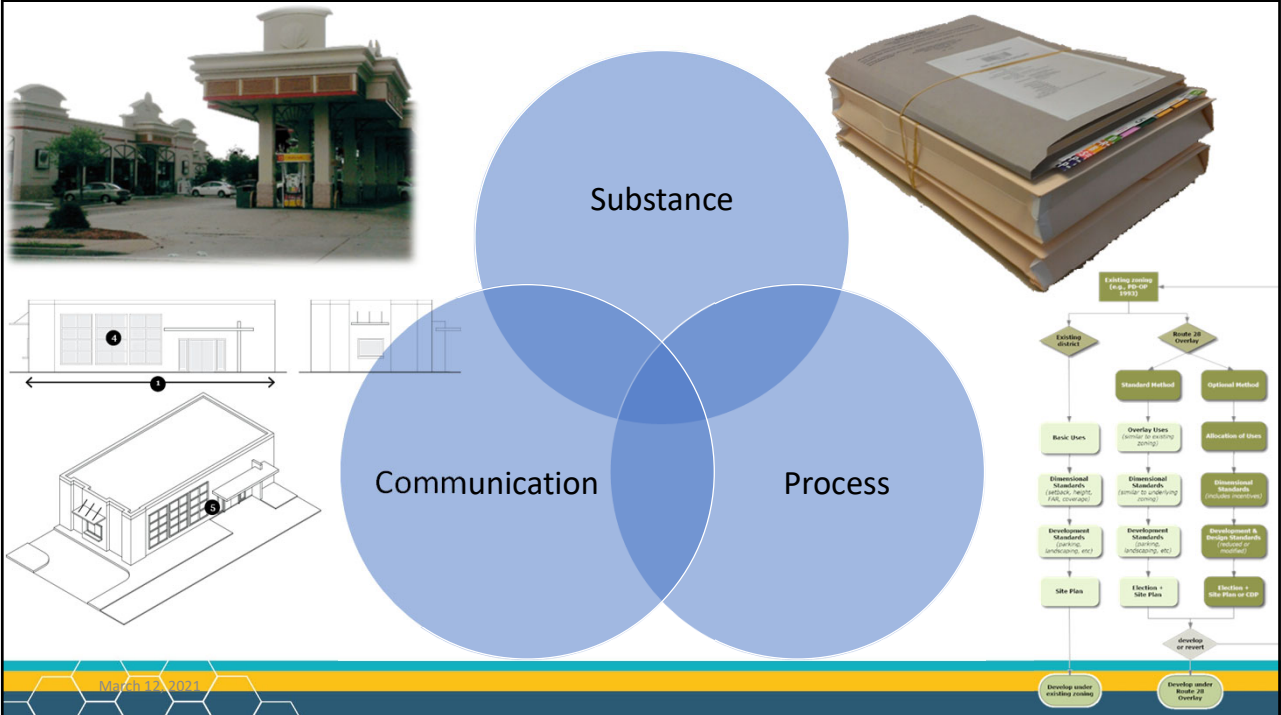
# Approaches

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**Substance**

**Communication**

**Process**

Existing name (e.g., PCUP 1974)

Existing status

Basic Uses

Essential Standards (parking, signs, FAS, etc.)

Development Standards (zoning, etc.)

Site Plan

Standard Method

Overlay Uses (limited to existing zoning)

Essential Standards (parking, signs, FAS, etc.)

Development Standards (zoning, etc.)

Section + Site Plan

Optional Method

Allocation of Uses

Essential Standards (parking, signs, FAS, etc.)

Development & Section Standards (parking, etc.)

Section + Site Plan or CUP

Develop under existing zoning

Develop under code 28 Overlay

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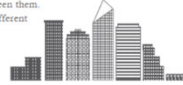
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## Why update a Code?

- Implement plan
- Remove regulatory barriers
- Add regulatory tools
- Clarify
- Consolidate
- Legalize
- Promote economic development

### COMPATIBILITY

A key objective of land use planning is to create a land use pattern that prevents conflict between adjacent uses. We recognize that all land uses are not inherently compatible with others, but steps can be taken to ensure or improve compatibility between them. Successful integration of different land uses connects people to services and improves walkability and access to jobs, recreation, and other needs and amenities.



### TRANSPORTATION SYSTEM & LAND USE RELATIONSHIP

Land use must be planned with transportation and the adjacent street network in mind, and vice versa. *ploncke's* Land Use Plan is intricately connected with the Street Typology that guides how land use functions on certain streets, and how the City should invest in street infrastructure in the future.



### INTENSITY OF USE

A central component of land use compatibility is the intensity of each use and how different uses relate to each other, whether it be building scale, the amount of traffic generated, or operational impacts. The LUTAs in the Land Use Plan are distinguished from each other based on intensity of land uses.



### SERVICE EFFICIENCY

The delivery of high quality, cost effective services is a high priority for the City and its citizens. Our analysis shows that some land use patterns are more costly to serve than others. The Land Use Plan, therefore, reflects a land use pattern that is intended to maximize the City's ability to provide high quality, cost effective services such as water, sewer, and public safety to its residents and businesses.

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## What is a Code?

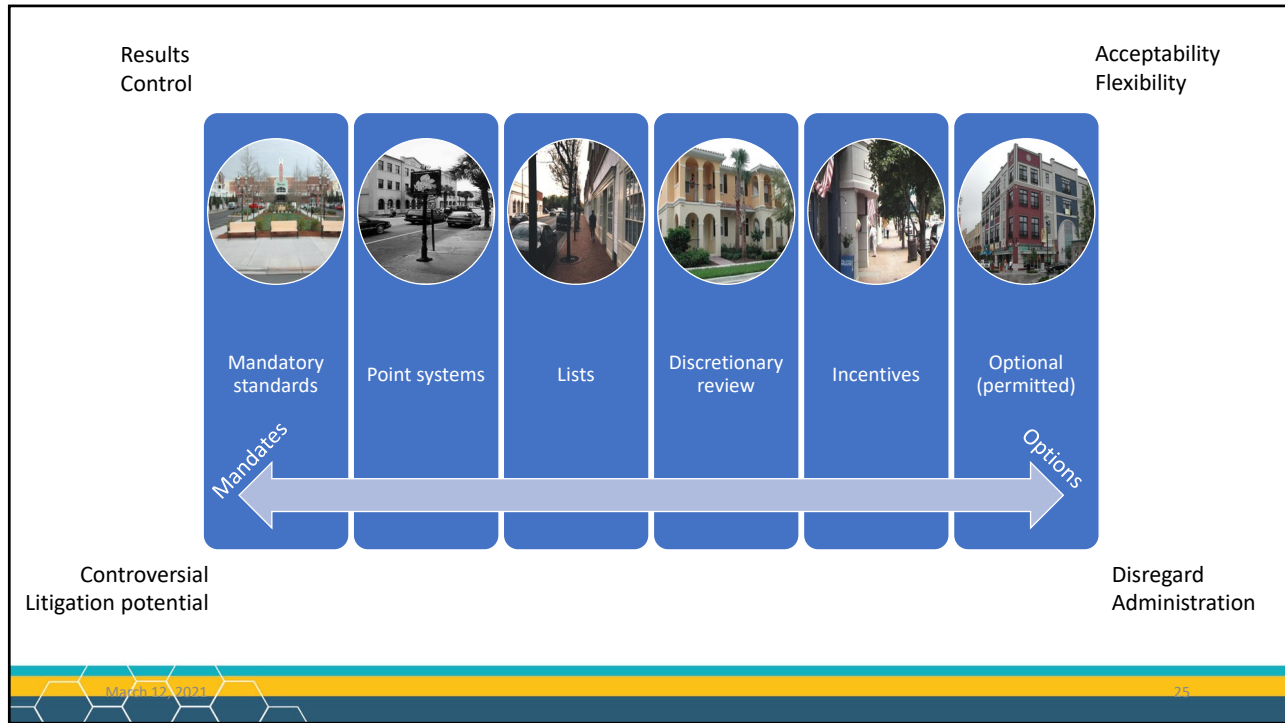
- Law
- Substantive rules
- Procedural rules
- Mediation
- Dictionary
- Bridge
- Enabler



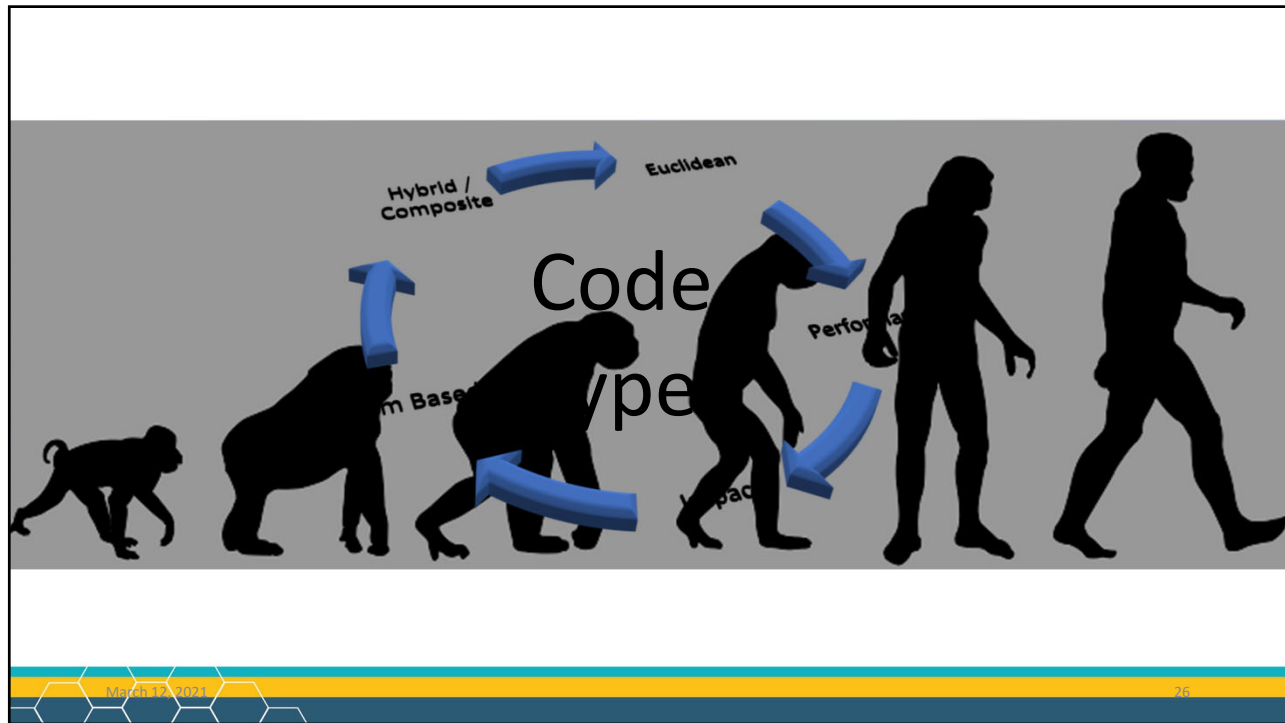
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Code Type	Euclidean	Performance	Impact / GM	Composite	Form Based
Use	●			●	
Form	□			●	●
Bulk	●	●		●	●
Environment		●			
Building Design				●	●
Site Design	□	●		●	●
Infrastructure capacity		□	●		
Timing			●		

● = directly related | □ = indirectly related

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# Zoning

- Establish districts
  - Base
  - Overlay
  - Floating
- Types
  - Residential
  - Commercial
  - Industrial
  - Mixed use

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# Use Units

**Districts** →

**Uses** →

**How permitted** →

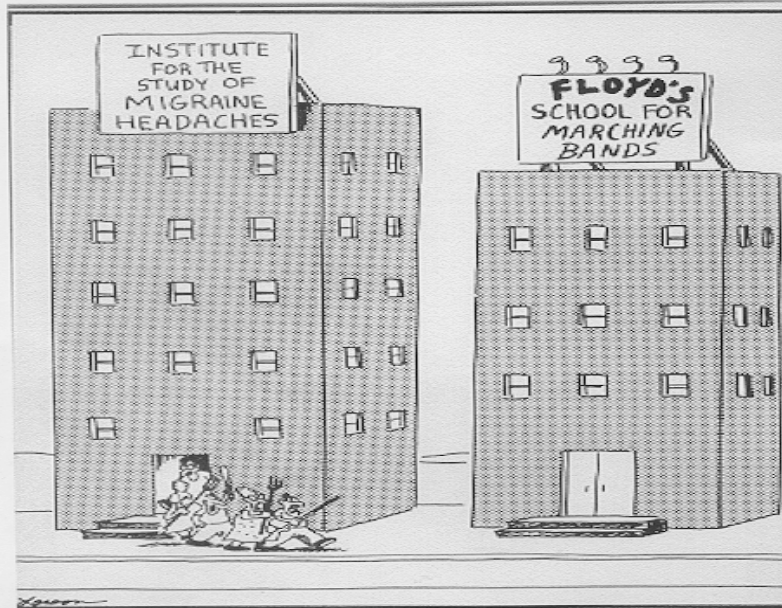
**Land-Based Classification Standards**

**North American Industrial Classification System**

	AG Agriculture	R-1 (Residential Single-Family)	R-2 (Residential Two-Family)	R-3 (Residential Low-Density MF)	R-4 (Residential Medium Density/MF)	O (Office)	C-1 (Neighborhood Center)	C-2 (Community Center)	C-3 (Regional Center)	C-4 (Corridor Commercial)	BP (Business Park)	M-1 (Light Industrial)	M-2 (Heavy Industrial)	M-3 (Intense Industrial)	D (Downtown) Core	D (Downtown) Mixed Use	D (Downtown) Santa Fe	UBC3 Function	UBC3 Structure	NAICS
<b>Residential Uses</b>																				
Accessory Dwellings (Cottage Houses, Granny Flats, Echo Homes)		P	P	P											P	P	P	1100	1190	
Cluster or conservation subdivisions		P	P	P	P													1100	1110	
Elderly housing, Multi-family Residences			P	P	P			S	S									1200	1200	
Elderly housing, Single-family Residences		P	P	P	P													1200	1200	
Residence, Adaptive Reuse		P	P	P	P		P	P										1100	1540	
Residence, Multifamily 3 units (triplex)					P										P	P	P	1100	1200	
Residence, Multifamily 4 units (quadplex)					P										P	P	P	1100	1200	
Residence, Multifamily 4 or more units					P										P	P	P	1100	1200	
Residence, Single-Family Attached		P	P	P	P													1100	1121	
Residence, Single-Family Detached		P	P	P	P													1100	1110	
Residence, Two-Family Detached		P	P	P	P										P	P	P	1100	1121	
Residence, Zero Lot Line		S	S	S	S	S												1100	1122	
Residential Design Manufactured Home		P	P	P	P													1100	1180	
Residential Property Manager															A	A	A	2521		891311
Townhouse		P	P	P	P													1100	1140	
Watchmen / caretakers						P	P	P	P	P	P	P	P	P	P	P	P	1300		
<b>Accommodations and Group Living</b>																				
Bed and breakfast home		S	S	S	S	P									P	P	P	1310		721911

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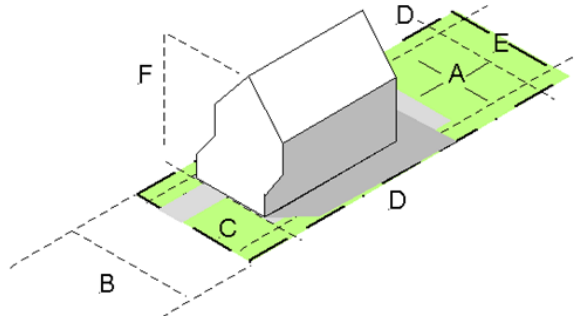
The dam bursts

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# Dimensional Standards

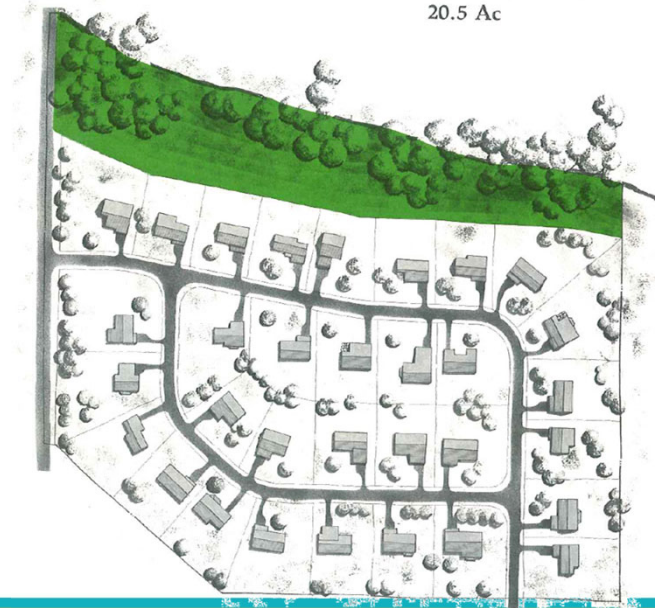
- A Lot Area (minimum) 7,000 sf
- B Frontage (minimum) 50 feet
- C Front setback (minimum) 30 feet
- D Side setback (minimum) 7 feet
- E Rear setback (minimum) 30 feet
- F Height (maximum) 42 feet
- G Lot Coverage (maximum) (see below)



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# Performance Zoning

$$\frac{6.8 \text{ Ac}}{20.5 \text{ Ac}} = .33$$



Source: Kendig, *Performance Zoning* (APA 1980)

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FAR v. Building Envelope



1 Story

2 stories

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Paranoia

Uncertainty

Delay



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## Multiple Use



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## Mixed Use

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# Form-Based Code Ingredients

Building	+	Lot	+	Infrastructure	=	Form
Zoning	—————					
		Subdivision		—————		

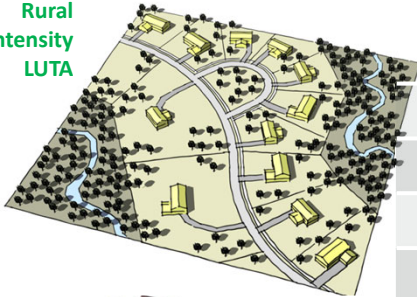


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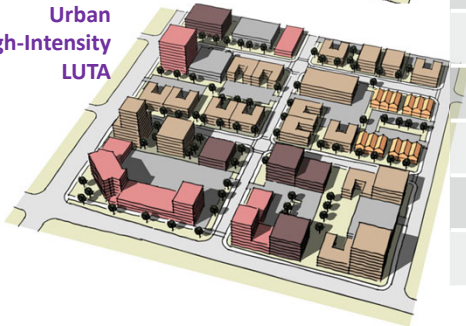
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Rural  
Medium-Intensity  
LUTA



Urban  
High-Intensity  
LUTA



Conventional Form-Based

Conventional	Form-Based
Separation of Uses	Deemphasizes Uses
Maximum Densities	--
Street Standards for Cars	Street Standards for Mixed Modes
Curvilinear Streets	Connected Streets
Private Open Space	Public Open Space
Minimum Lot Size	--
Wide Setbacks	Build-To Lines
Private Orientation	Orientation to Public Realm
Minimum Parking	--, Reduced or Maximum Parking

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### 5.0 Transitions

Intent: Attention should be paid to create soft transitions to adjacent properties with regards to use, building form, and scale.

1. Consideration should be given to building height and transition when a development site is located adjacent to existing residential uses.
2. When built at the lot line and immediately adjacent to an existing building, a building may deviate more than one story if the transition is graduated.
3. Incorporating complementary architectural design (materials, colors, and design) or building types for dissimilar uses and complementary scales (upper floor setbacks, staggering building height, and large expanses) for dissimilar building masses provide for perceptual and physical transitions between developments.
4. Well-designed plantings, fences, and walls may be used for screening to buffer incompatible uses.

### 6.0 Building Design

Intent: Ensure visual cohesiveness by utilizing similar building components.

1. Covering, altering, or damaging historically significant building features is prohibited.
2. Buildings should ensure "four-sided", quality design by applying consistent building details and scale on all sides.
3. Buildings fronting multiple streets should have consistent façade treatments, including materials, scale, proportion and detailing.
4. Additional architectural features should be added to exterior building corners at street intersections.

*A gradual stepping of the building height from two to three stories in the illustration shows how consideration could be given to adjacent buildings at varying heights.*

*The Phoenix building in Overland Park, Kansas incorporates complementary building materials, colors, storefront components, and upper floor setbacks to maintain the pedestrian scale along the front property line.*

*Example of the use of additional architectural elements and materials at the primary corner of building where two streets intersect.*

Guidelines	Form-Based
Optional	Mandatory
Separate Document	Separate Code or Integrated
Architectural Features	Building Form
Discretionary Review	By-Right Review
Buildings, Sites	Buildings, Sites and Public Realm

Downtown Design Guidelines - Central Business District
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# Building design (Aesthetic v. Function)

Storefronts v.  
blank walls

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**“A” Streets**

Building A + Site 1

**“B” Streets**

Building B + Site 2

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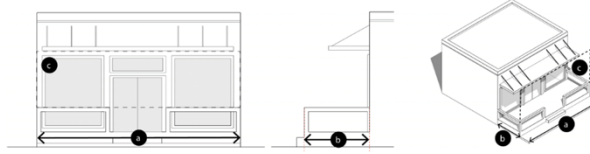
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# Frontage Types

**B. Frontage Types.** The following Frontage Type standards are established to regulate and define the building type standards in Sec. 40.18.403.

**1. Porch**



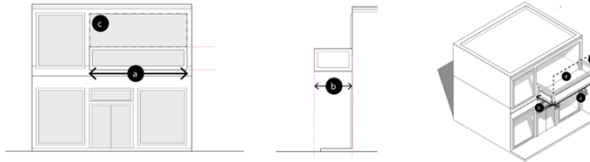
**Definition**

A roofed, open structure projecting from the front, side or rear wall of a building, and not used as habitable living space.

**Standards**

- a. Width (min-feet): 8'
- b. Depth (min-feet): 6'
- c. Enclosed only by railings or wall projections leaving at least 50% of front porch plane open.

**2. Balcony**



**Definition**

An unenclosed platform that projects from the wall of a building and is surrounded by a railing, balustrade, or parapet.

**Standards**

- a. Width (min-feet): 6'
- b. Depth (min-feet): 5'
- c. Enclosed only by railings, balustrades, or parapets or wall projections leaving at least 50% of front balcony plane open.
- d. A balcony shall have direct access from a principal room of the dwelling unit or non-residential space that it serves.

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## Use v. Building Form



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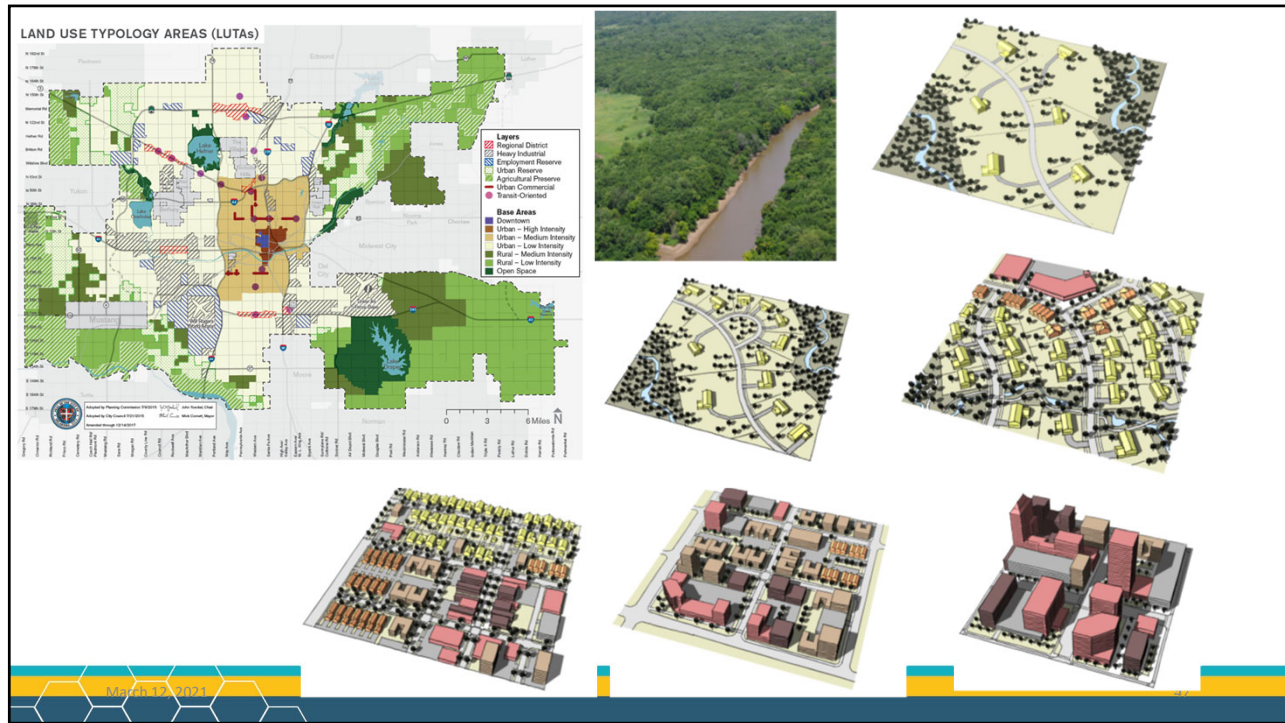


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### Community Character

- Greenfield subdivision
- Redevelopment & infill
- Retrofitting sprawl
- TOD & pedestrian pockets
- Mixed use
- Conservation subdivisions
- “New Ruralism”

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Use	1	2	3	4	5	6	DEFINITION
Office or commercial buildings							
Highly housing, multi-family residential							
Medium housing, single-family residential							
Residence - Attached Town							
Residence - Medium Density							
Residence - Medium Density 1 with Urban							
Residence - Medium Density 2 with Urban							
Residence - Single Family Attached							
Residence - Single Family Detached							
Residence - Two Family (Duplex)							
Residence - Semi Detached							
Residential - Design Intentional/Urban							
Workshops / Community							

**Table 10-15 General Design Standards for Composite Site Design Category 3**

**Open Space**

- A Landscaping Adjacent to Sidewalks
- B Outdoor Amenity Space
- C Street Frontage Area for Commercial/Mixed-Use Buildings
- D Street Frontage Area for Residential Buildings
- E Facade Window Storage Area
- F Parking Features
- G Continuity
- H Pedestrian Circulation System
- I Additional Pedestrian Connectivity
- J Connections to Transportation or Adjacent Properties
- K Drainage Features

**Table 10-16 Summary of Composite Building Design Standards**

	A	B	C	D	E	F
<b>Facade Expression</b>	Highly articulated facade with high level of transparency	Highly articulated facade with high level of transparency	Moderately articulated facade with a moderate level of transparency	Moderately articulated facade with a moderate level of transparency	Facade with a range of articulation and limited transparency	Facade with a range of articulation and limited transparency
<b>Transparency Orientation</b>	High level of ground floor pedestrian interest with front-facing window entries (porch, stoop, etc.)	High level of ground floor pedestrian interest with front-facing window entries (porch, stoop, etc.)	Moderate level of ground floor pedestrian interest with front-facing window entries (porch, stoop, etc.)	Moderate level of ground floor pedestrian interest with front-facing window entries (porch, stoop, etc.)	No special considerations	No special considerations
<b>Materials</b>	No special considerations	High quality materials	High quality materials	Moderate quality materials	High quality materials	A range of materials including lower quality materials
<b>Garage</b>	Garage door design standards may apply	Garage door design standards may apply	No special considerations	No special considerations	No special considerations	Overhead doors generally do not face primary streets
<b>Transition Adjacent to Single-Family</b>	No special considerations	Lower scale adjacent to single-family	Lower scale adjacent to single-family	Lower scale adjacent to single-family	Lower scale adjacent to single-family	Facade adjacent to single-family treated as primary building modules adjacent to single-family

**18.15.035 Building Design Category C**

Composite Building Design Category C provides standards to ensure compatible development in areas designated as PlanQuartz in Neighborhood Centers, Urban Centers and Transit Oriented Development Centers. The following general design standards apply to all projects in composite building design category C.

**Table 18-5 General Design Standards for Composite Design Category C**

	A	B	C	D	E	F	G	H	
<b>Facade Expression</b>	Horizontal and Vertical Articulation of Primary Facade	Transparent Glass on Primary Facade (min. %)	Articulated Primary Facade Expression	Ground Floor Pedestrian Interest	First Floor Height (min.)	Front Facing Entry Element on Primary Facade	Interior Building Materials	Building Materials on Primary Facade (min. % from materials category 1 / materials category 2)	Building Materials on Secondary Facade (min. % from materials category 1 / materials category 2)
	Required - See menu options	35%	Required - See menu options	Required - See menu options	15'	Required - See menu options	80% / 20%	50% / 50%	

**Composite Standards**

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# Transitional Standards


Development Codes Update Project

March 12, 2021

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## TRANSITIONAL ELEMENTS



**Abrupt**

**Gradual**

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# TRANSITIONAL ELEMENTS



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# TRANSITIONAL ELEMENTS

**NO!**

Incompatible roof forms  
No screening between uses



**YES!**

Similar building height  
Similar roof form  
Landscape buffer



City of Overland Park, *Commercial Design Guidelines and Standards* (Feb. 11, 2004)

March 12, 2021

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# TRANSITIONAL ELEMENTS



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# TRANSITIONAL ELEMENTS



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# TRANSITIONAL ELEMENTS



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# Public Comment



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# Schedule and Next Steps

- Next SAT meeting: Friday, April 2
- Provide feedback:
  - [www.okc.gov/codeupdate](http://www.okc.gov/codeupdate)
  - <https://www.surveymonkey.com/r/codeokc>

