



## ARTICLE XVI SIGN REGULATIONS

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## OKLAHOMA CITY SIGN CODE

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Chapter 59 Article XVI, Oklahoma City Municipal Code



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## § 59-16100 Title.

This Article shall be known and may be cited as the “Oklahoma City Sign Code” or “Sign Code.”

## § 59-16101 Purpose and Findings.

- A. **Generally.** This Article regulates the type, dimensions, design, erection, construction, placement, replacement, operation, display, location, maintenance and other characteristics of signs throughout the City.
- B. **Purpose.** The purpose of this Article is to:
1. Protect the character of the comprehensive plan land use typology areas (LUTAs) and zoning districts;
  2. Implement the City's comprehensive plan;
  3. Accommodate the rights of private entities to freedom of speech;
  4. Recognize the need for businesses, institutions, and other users for effective, individualized identity and public awareness;
  5. Promote signs as an element of proper building and site design;
  6. Encourage the most appropriate use of land;
  7. Promote community aesthetics by ensuring that the placement, design, type, and amount of signs are appropriate to the site and building;
  8. Protect places and areas of historical and cultural importance;
  9. Reduce traffic hazards caused by distractions to motorists and impairment of sight lines, while ensuring that signs are sufficiently visible to motorists based on street design and associated travel speeds;
  10. Protect property values by facilitating harmony between residential and more intensive uses;
  11. Incorporate new technologies for sign design and display;
  12. Preserve the character of residential neighborhoods;
  13. Provide a fair, equitable, and predictable regulatory framework for all sign users and businesses;
  14. Reduce administrative burdens,
  15. Avoid the creation of nonconformities or intensification of existing nonconformities, consistent with Oklahoma law,
  16. Provide for effective enforcement, and
  17. Preserve, protect and promote the public health, safety and general welfare.
- C. **Content Neutral.** This Article regulates only the sign structure and physical parameters, and not the sign's content.
- D. **Findings.** The City finds that:
1. The type, dimensions, setbacks, and physical design of signs permitted by this Article protect the City's interests in traffic safety, community character, and aesthetics, while allowing for adequate visibility, legibility, and pedestrian or motorist recognition and comprehension; and
  2. The uncontrolled use of signs (including billboards) and their location may harm traffic safety and the public well-being, in conflict with the objectives stated above, and may have a negative impact on adjacent property values, community aesthetics, and economic development; and
  3. The standards set out in this Article were developed after a public process in which the design and dimensional standards were tested against industry criteria, past experience in administering sign standards, and community input as to the appropriate characteristics of signs in the City's various neighborhoods and business areas.



- E. **Authority.** This Article is enacted pursuant to the home rule provisions of Article 18, Section 3(a) of the Oklahoma Constitution and the authority and powers contained in the Oklahoma Statutes (11 O.S. Section 11-43-101 et seq.) and Article 1, Sections 3 and 7 of the City Charter of the City of Oklahoma City.

## § 59-16102 Applicability

A. **Generally**

1. This article applies prospectively to permit applications for sign construction and to existing sign structures encroaching the public right-of-way within the corporate limits of the City of Oklahoma City, Oklahoma.
2. It is unlawful for any person to erect, operate, or otherwise use any sign that is prohibited by this Article.
3. It is unlawful for any person to erect, operate, or otherwise use any sign at a time, place, or manner that is prohibited by this Article.

B. **Exemptions.** This Article does not apply to:

1. Indoor Signs. This article does not apply to placement of signs within a structure if they are not visible from any point outside the structure (for example, inside a shopping center mall). However, all indoor signs require appropriate building and electrical permits.
2. A sign affixed to a vehicle, except as provided in Section 59-16110 of this Article.
3. Any sign required by state or federal law.

C. **Message Neutrality**

1. Despite any other provision of this Article, no sign is subject to any limitation based on the content of its message. However, no sign may be erected if its content violates the Oklahoma Law on Obscenity and Child Pornography, codified in 21 O.S. Sections 1021 et seq.
2. Any sign authorized in this Article may contain any non-commercial copy in lieu of any other copy.

D. **Planned Unit Developments (PUDs) and Simplified Planned Unit Developments (SPUDs)**

1. A sign within a PUD or SPUD is subject to the requirements of this Article and any applicable approved master sign plan.
2. The master sign plan for a PUD or SPUD shall comply with the number, area, height, and design requirements for the applicable sign district that applies at the time of application for approval of the PUD or SPUD. The master sign plan may include any modification permitted by Section 59-16113.
3. To the extent that a master sign plan is silent about the type, area, height, design features, or other sign requirements, this Article applies.

E. **Design Districts.** Where there is any conflict between these regulations and the regulations in a given Design District, the Design District regulations prevail.

## § 59-16103 General Requirements

A. **Generally.** Signs are authorized where permitted as accessory uses in zoning districts established in [Chapter 59](#) of this Code. No sign shall be erected, constructed, placed, or replaced unless it conforms to this Article and with all other applicable ordinances of the City.

B. **Footing methods.** All signs requiring a City permit shall use one of the following footing methods and meeting the wind load requirements of the Building Code of Oklahoma City:

1. an in-ground concrete footing a minimum of 12 inches in diameter and 18 inches deep for all supporting members of the sign when using "J" bolts or anchors as described below.
2. for ground signs, an in-ground concrete footing a minimum of 12 inches wide and 18 inches deep along all supporting members of the sign.





3. a minimum six inches in diameter concrete-filled hole 18 inches deep for all supporting members of the sign when supporting members are encased in concrete.
  4. if the sign is on concrete, meeting the specifications of **Chapter 59** Section 59-6910.2.D(1)(b) or on (1) and (2) of the above-described in-ground concrete footings, then the supporting members of the sign must be attached to the footing with "J" bolts or attached to the footing with anchors at least ¼ inch in diameter and placed to a minimum depth of two inches in said concrete.
- C. **Conforming Use.** If a parcel is occupied by a use or structure which does not conform to the use regulations of the applicable zoning district, no sign shall be erected on that parcel until the property is brought into compliance.
- D. **Maintenance.**
1. The owner of any property on which a sign is located and those responsible for maintenance of the sign are equally responsible for the conditions of the area in the vicinity of the sign and shall keep this area clean, sanitary, and free from noxious or offensive substances, rubbish and flammable waste materials.
  2. The persons identified in subsection (1) above shall keep all portions of signs, including the display surface, in good repair at all times so that the entire sign is clearly legible and free of damage, deterioration, and/or defacement.
- E. **Alterations**
1. A sign shall not be enlarged or relocated except in conformity to the provisions of this article for new signs, or until a proper permit is secured.
  2. The changing of movable parts of an approved sign that is designed for those changes, or the repainting or reposting of copy, is not considered an alteration if that change or alteration does not violate the conditions of the original approval or the requirements of this article.
- F. **Landscaping**
1. All ground signs and billboards shall include a Landscaped Area containing one point per two square feet of sign or fraction thereof located within ten feet of the base of any freestanding accessory sign.
  2. This landscaping may be applied to fulfill Site or Parking Point requirements.
  3. Turf grass shall not be used to satisfy this requirement (see Article XI, Section 59-11250 Landscaping requirements.).
  4. The City shall verify this requirement when the property owner is required to install landscaping on the site.
  5. This subsection F does not apply to a lot or parcel with frontage on a Downtown Street or Main Street (see Section 16106 for street typologies).
- G. **Intersection Sight Distance.** No sign shall encroach on sight distance triangles required by this Code for traffic and pedestrian safety. All permitted freestanding signs shall observe sight distance triangles as provided for in Section 59-12300.
- H. **Obstructions.** Signs shall not obstruct any fire escape, stairway, or standpipe or be attached to or supported by a fire escape or stairway, or interfere with a human exit through any emergency opening, or obstruct the exterior door or required exit of any building, or obstruct any legally required light or ventilation. Signs shall not obstruct the pedestrian public way
- I. **Parking Spaces.** Signs shall not occupy a required parking space (see Article X of this Chapter).
- J. **Supergraphics** are prohibited except in the Bricktown Core (BC) and Downtown Business District (DBD), and are subject to the regulations and guidelines of the respective design districts.
- K. **Movement.** No sign or part of a sign shall move.
- L. **Sound.** No sign shall emit any sound level that violates Chapter 34 of the Municipal Code.



- M. **Intermittent Lighting.** No strobe or high-intensity intermittent lights are permitted except where required on structures for aircraft warning lights.

**§ 59-16104 Prohibited Signs.**

The following types of signs are prohibited in the City of Oklahoma City:

- A. **Signs Not Enumerated.** Any sign not specifically permitted by this Article.
- B. **Signs in Right-of-Way.** Signs in the right-of-way are prohibited, except as provided in Section 59-16112 (Signs in Right-of-Way or Public Property).
- C. **A-frame, Sandwich, Springer, and Swinger Signs** are prohibited except as specifically allowed in the Bricktown Core (BC), Downtown Business District (DBD), Stockyards City Development District (SYD) and Urban Design (UD) districts and shall be subject to the regulations and guidelines of the respective design districts. These signs do not require a Certificate of Approval.
- D. **Portable Signs** Portable signs are declared a public nuisance because:
  1. The mobility of portable signs undermines enforcement efforts in the street right-of-way or in parking areas, where they impede the safe and orderly flow of vehicular traffic and pose a hazard for pedestrians.
  2. The appearance of portable signs creates a blight on the community, reducing the value and desirability of surrounding property, inhibiting economic development by creating a negative visual image of the City, and generally damaging the aesthetic quality of life for the citizens of the City.

**§ 59-16105 Electronic Message Displays (EMDs) and Illumination**

**A. Generally**

1. **Where Permitted.** The standards for individual sign types in Sections 59-16107 through 59-16111 of this article indicate whether EMDs, changeable copy or illumination is allowed, and the level of EMD or illumination allowed (internal illumination, external illumination, halo lit, or digital).
2. **Electrical Code.** Illuminated signs shall comply with all applicable provisions of the City’s Electrical Code.
3. **Glare.** All lighting shall be arranged so that there will be no glare directed or reflected toward adjacent properties.
4. **Flashing/Intermittent Lighting.** No flashing or intermittent lighting shall be allowed other than permitted electronic message displays.
5. **Illumination.** Maximum illumination levels over ambient light levels, measured at ground level at the distances or locations designated below, are:
  - a. *Nonresidential zoning districts* shall have a maximum illumination level of 0.3 footcandles at the distances shown in the table below:

Table 59-16105.1	
Sign Size (sf)	Distance From Source
0 to 100	100 feet
101 to 350	150 feet
351 to 650	200 feet
Over 651	250 feet

- b. *Residential zoning districts:* 0.2 footcandles at the nearest residential property line.
- c. *Daytime.* All signs in all zoning districts shall have a maximum illumination level of 6,500 nits from dawn until dusk. The sign permit applicant shall certify that light intensity is factory pre-set not to exceed this intensity level and protected from end-user manipulation.



**B. Electronic Message Displays (EMDs)**

- Levels.** This article establishes three 3 levels of electronic message displays. Each level is based on the standards established in Table 59-16105-2 below.

Table 59-16105.2 EMD Levels			
Standard	1	2	3
<b>Operational Limitations</b>	Static	Static	Animated / Video
<b>Message Change</b>			
dissolve	•	•	•
fade	•	•	•
travel		•	•
scroll		•	•
animation			•
full-motion video			•
<b>Movement</b>	No	Yes	Yes
Minimum Display Time	8 seconds	8 seconds	--
Notes:			
• = the message change type is allowed (blank means the message change type is not allowed)			
<b>Level 2</b> may have similar transitions and frame effects that have text, graphics or images that appear to move or change in size, or be revealed sequentially rather than all at once.			

- Standards.** EMDs are subject to the following standards:

Table 59-16105.3 EMD Standards				
	Sign Districts			
	R	C	I	BC
	<i>Agricultural, residential, and mobile home zoning districts and Tracts 1, 2, and 3 of the NC District</i>	<i>O-1, O-2, NB, C-1, and NC Tract 4</i>	<i>C-2, C-3, C-4, C-CBD, C-HC, TP, I-1, I-2, I-3</i>	<i>Bricktown Overlay</i>
<b>Uses</b>	NR only	Any permitted use	Any permitted use	Sites with at least 10 acres or 50 parking spaces
<b>Location</b>	Fronting on section-line street, arterials, interstate or state highway	any	any	any
<b>Limit per street frontage (any level)</b>	no limit	no limit	no limit	2
<b>Level 1</b>	Yes	Yes	Yes	Yes
<b>Size (max, sf)</b>	S	S	S	8 sf
<b>Level 2</b>	Yes	Yes	Yes	Yes
<b>Size (% of allowable sign area)</b>	50%	50%	--	15%
<b>Size (max, sf)</b>	n/a (controlled by percent of sign area)	50 sf ( <i>Regatta District of the SRODD only</i> )	100 sf*	250 sf
<b>Hours of operation</b>	7:00 a.m. - 8:00 p.m	6:00 a.m. - 10:00 p.m	n/a	n/a
<b>Setbacks (min, feet) (signs &gt; 50')</b>				
<b>adjacent residentially zoned property</b>	300'	300'	300'	<u>150'</u>



Table 59-16105.3 EMD Standards				
	Sign Districts			
<i>(min.-feet)</i>				
<b>adjacent residential use</b> <i>(min.-feet)</i>	n/a	150' (DTD-1 and DTD-2 only)	100'**	100'**
<b>signalized intersection</b>	n/a	n/a	50'	n/a
<b>HP, HL zoning districts</b>	n/a	n/a	300'	n/a
<b>street curb/edge</b> <i>(not applicable to existing EMD signs permitted and legally installed before November 1, 2009)</i>	n/a	n/a	50'	n/a
<b>Level 3</b>	No	No	Yes	Yes
<b>Size</b> <i>(% of allowable sign area)</i>	one	none	100 sf*	15%
<b>Size</b> <i>(max, sf)</i>	none	none	100'	250 sf
<b>Setbacks</b> <i>(min, feet) (signs &gt; 50')</i>				
<b>adjacent residentially zoned property</b> <i>(min.-feet)</i>	none	none	300'	n/a
<b>adjacent residential use</b> <i>(min.-feet)</i>	none	none	100'**	100'**
<b>signalized intersection</b>	none	none	50'	50'
<b>HP, HL zoning districts</b>	none	none	300'	300'
<b>street curb/edge</b> <i>(not applicable to existing EMD signs permitted and legally installed before November 1, 2009)</i>	none	none	50'	25'

**Notes:**  
**NR** = allowed for non-residential uses only | **S** = subject to max size of the sign display in §§ 59-16017, 59-16108, and 59-16111 | "-" = not applicable  
 \* Existing EMD signs which obtained a permit and were legally installed prior to July 1, 2009, are limited to 350 square feet of the total allowable sign area. Exceptions:  
 MD signs within the SYD, SYT, SRODD, UD, DBD, and river crossings within the Regatta District of the SRODD districts are at the discretion of the respective design review authority. EMD signs within the DBD District may exceed the size limits above. EMD signs affixed to river crossings within the Regatta District of the SROD are limited to sf. All others are subject to the limits established above.  
 \*\* In DBD, SYD, SYT, SRODD, UD and BC (no setback required from Dwelling Units and Mixed Use [8200.2] and Live/work units [8200.4] use units)

3. **Controls.** All controls for the EMD signs including illumination and operational requirements shall be programmed so that any malfunction causes the sign to default to a static operation mode.
4. **Design Districts**
  - a. **Certificate of Approval or Appropriateness.** EMD signs require a Certificate of Approval or Appropriateness from the respective design review authority and are subject to any specific EMD sign regulations and guidelines in the following zoning districts: BC, DBD, DTD-1, DTD-2, HP, HL, SYD, SYT, SRODD, and UD.
  - b. **Prohibited.** EMD signs are prohibited within the following zoning districts:
    1. DTD-1, within the area known as the "Cottage District" as defined in Chapter 59-7200.3.B. (1)(a); and
    2. SRODD, within 100 feet of the river; except signage affixed to river crossings in the Regatta District.
5. **Continuing Obligations**





- a. EMD signs that have permits authorizing the use of that method of display issued prior to the effective date of this Section may continue if the sign meets the operational standards set forth in this Section within 30 days of the effective date of this Section. Operational standards include illumination levels, hours of operation, and EMD Level 1, 2, and 3 standards as set forth in this article. This subsection does not prohibit the continued lawful use of existing signs specifically approved by the Board of Adjustment order or pursuant to PUDs or SPUDs approved by the City Council or by a vote of the City Council pursuant to an appeal from a decision of the Traffic and Transportation Commission.
- b. The operational standards of this section are subject to change in the future and all permitted EMD signs shall comply with any future amendments to the operational standards.

C. **Illuminated Signs.** The following illustrate illumination categories for purposes of subsection A.1 above (see Section 59-16118 for definitions):

Figure 59-16105.1 External Illumination (example)

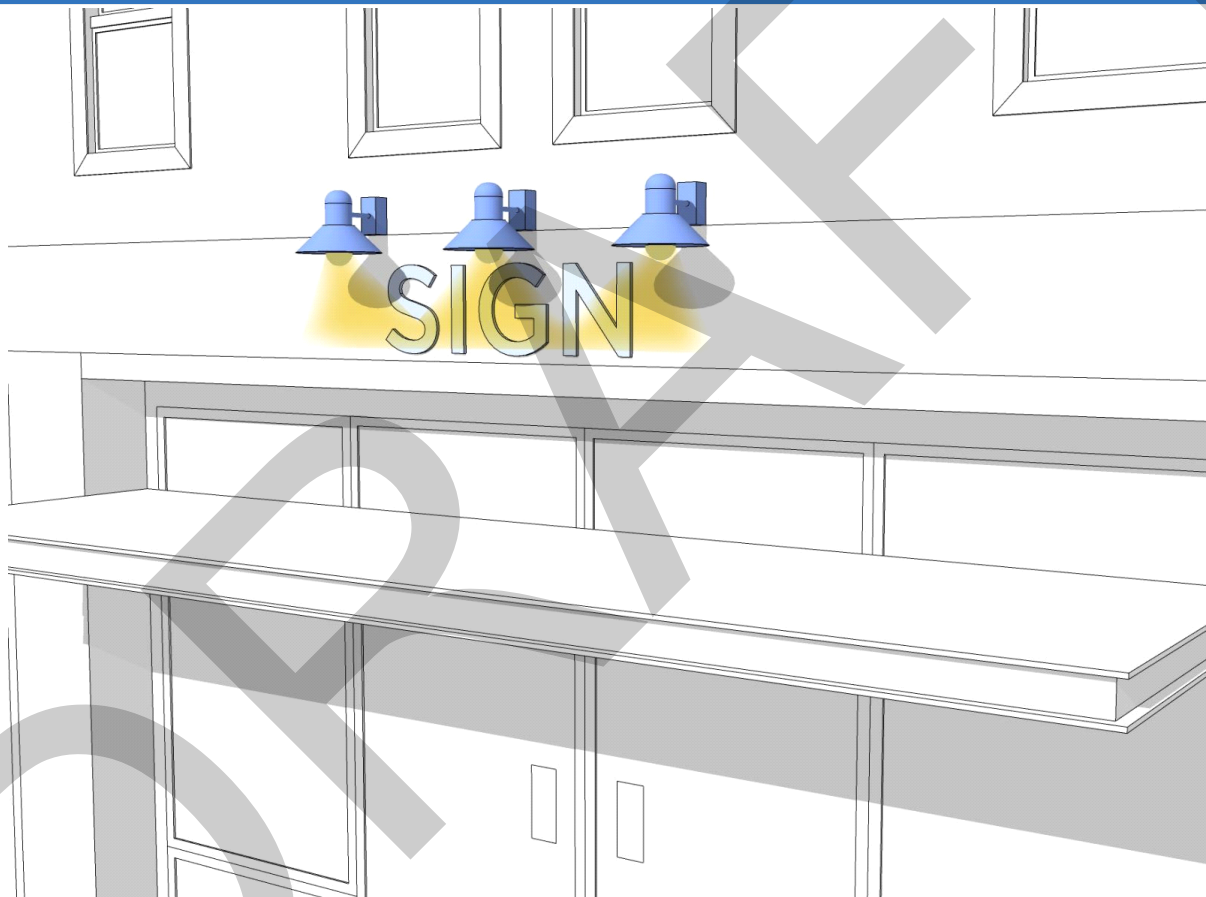
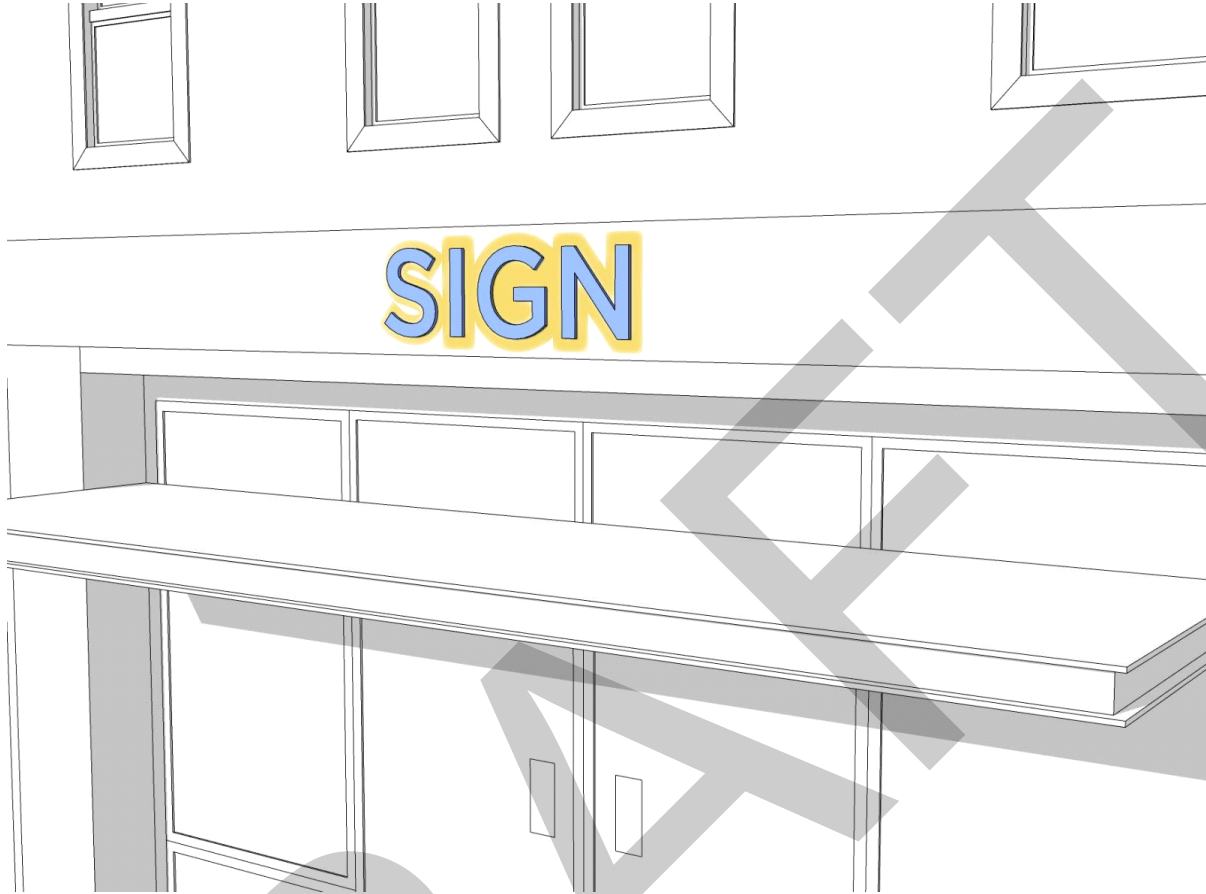




Figure 59-16105.2 Halo Lit Illumination (example)



Examples of Halo Lighting:



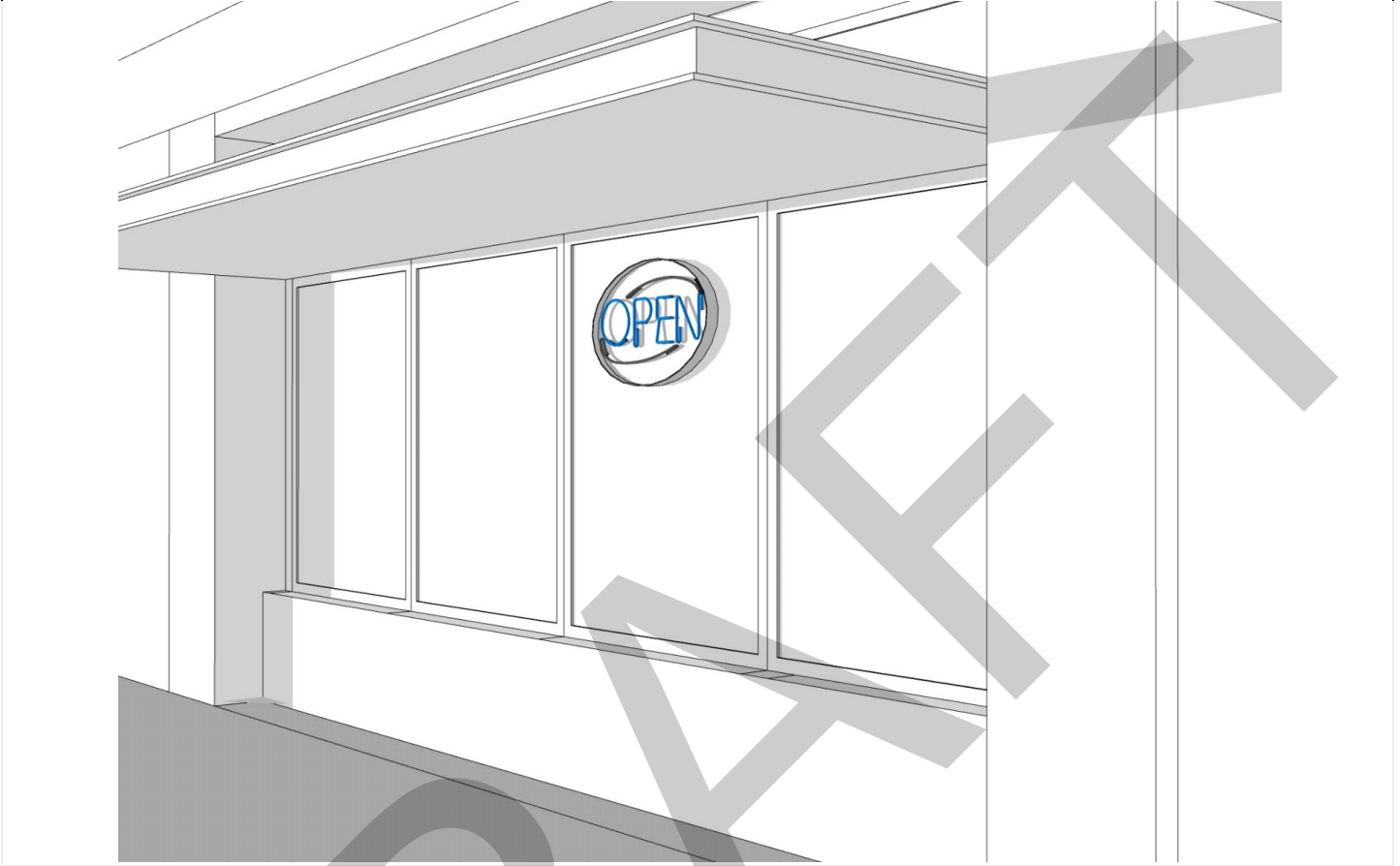


Figure 59-16105.3 Internal Illumination (example)





Figure 59-16105.4 Neon  
(example; see subsection D, below)



Examples of Neon Signs:



D. Neon

1. Neon is considered internal illumination for purposes of this article.
2. Neon may be shaped to form objects or letters, or it may outline portions of a sign.
3. Neon letters or characters may appear as a freestanding object, mounted directly on a wall surface, mounted on a panel, or contained in open channel letters.

E. Projection Image Signs





1. Projection Image Signs are limited to the Bricktown Core (BC) and Downtown Design (DBD, DTD-1, DTD-2) districts, one week in duration per location per 30-day period.
2. Projection Image Signs shall not be projected within 200 feet of, or onto, a residential use (excluding Use Classifications 59-8200.2, Dwelling Units and Mixed Use and 59-8200.4, Live/Work Units) unless the location and orientation of the projection ensure that light from the images will not infringe on the residential use.
3. Projection Image Signs shall not be projected onto the surface of the public street.

## § 59-16106 Sign Districts and Street Categories

### A. Purpose and Findings.

1. Sections 59-16107 through 59-16110 of this Code establish standards and overall allowances for signs by number and display area for four major sign categories:
  - a. Freestanding signs,
  - b. Attached signs,
  - c. Miscellaneous signs, and
  - d. Incidental signs.
2. This system provides flexibility for persons and businesses who display signs, avoids sign distinctions that depend on a sign's message, and minimizes potential traffic hazards and clutter.
3. Because this Article does not regulate sign content, applicants and property owners may allocate signs by message type (for example, onsite advertising, directional, and opinion messages) in any manner within the sign quantity and area limits established in this Article.

### B. Generally. Sections 59-16107 through 59-16110 of this Code establish standards for individual sign types, including:

1. An initial paragraph that defines the sign type,
2. Images that illustrate the sign types, and
3. A table summarizing the sign standards, including:
  - a. Whether the sign type is permitted in the designated sign districts (see subsection C, below).
  - b. Whether a sign permit is required.
  - c. The maximum permitted number of signs of the designated category, which may be based on:
    1. Number per street frontage, or
    2. Number per each business or institution (occupying a multi-tenant building) which has its own ground floor entryway or storefront, or
    3. Number per single-tenant building or multi-tenant building with a single entry, or
    4. The total number of that sign type on a single lot or parcel.
  - d. Maximum sign dimensions (which may vary based on the street classification in subsection D below), which may include:
    1. Sign area,
    2. Height,
    3. Location,
    4. Property line setback, or
    5. Spacing in relation to other signs.
  - e. Design characteristics, including whether the following design features are allowed or required:



1. Digital,
2. Illumination, internal,
3. Illumination, external,
4. Illumination, halo lit,
5. Channel letters,
6. Changeable copy,
7. Animation, or
8. Neon.

C. **Sign Districts.** Sections 59-16107 through 59-16110 of this Code regulate sign characteristics by common zoning districts (referred to as “sign districts”). The City currently regulates the use, setbacks, building dimensions, and site and building design by zoning districts (established in Article V, Section 59-5150 of this Chapter) and designated on the Official Zoning Districts Map (see Section 9-5250 of this Code). Many of these zoning districts have common characteristics for purposes of sign regulations and are collapsed into common categories for purposes of applying this Article’s sign regulations. These land use categories are as follows:

1. **Residential & Low Intensity (R)** refers to agricultural, residential, and lower intensity commercial districts. This includes the following districts: AA (Agricultural); RA2 (Single-Family Two-Acre Rural Residential); RA (Single-Family One-Acre Rural Residential); R-1 (Single-Family Residential 6,000 square foot minimum); R-1ZL (Single-Family Residential Zero Lot Line); R-2 (Medium-Low Residential); R-3 (Medium Density Residential); R-3M (Medium Density Multiple-Family Residential); R-4M (Medium-High Density Multiple-Family Residential); R-4 (General Residential); R-MH-1 (Manufactured [Mobile] Home Subdivision); R-MH-2 (Manufactured [Mobile] Home Park District); and NC (Neighborhood Conservation, Tracts 1, 2 and 3).
2. **Commercial (C)** means the following commercial and office districts: O-1 (Limited Office District); O-2 (General Office District); RC (Rural Commercial District); NB (Neighborhood Business District); C-1 (Neighborhood Commercial District); C-CBD (Central Business District); Downtown Design Districts (DBD, DTD-1, DTD-2); and NC (Neighborhood Conservation, Tract 4).
3. **Heavy Commercial and Industrial (I)** means the following commercial and industrial zoning districts: C-2 (Shopping Center District); C-3 (Community Commercial District); C-4 (General Commercial District); C-HC (Highway Commercial District); TP (Technology Park District); I-1 (Light Industrial District); I-2 (Moderate Industrial District); and I-3 (Heavy Industrial District).
4. **Bricktown Core (BC)** means the Bricktown Core Development District.

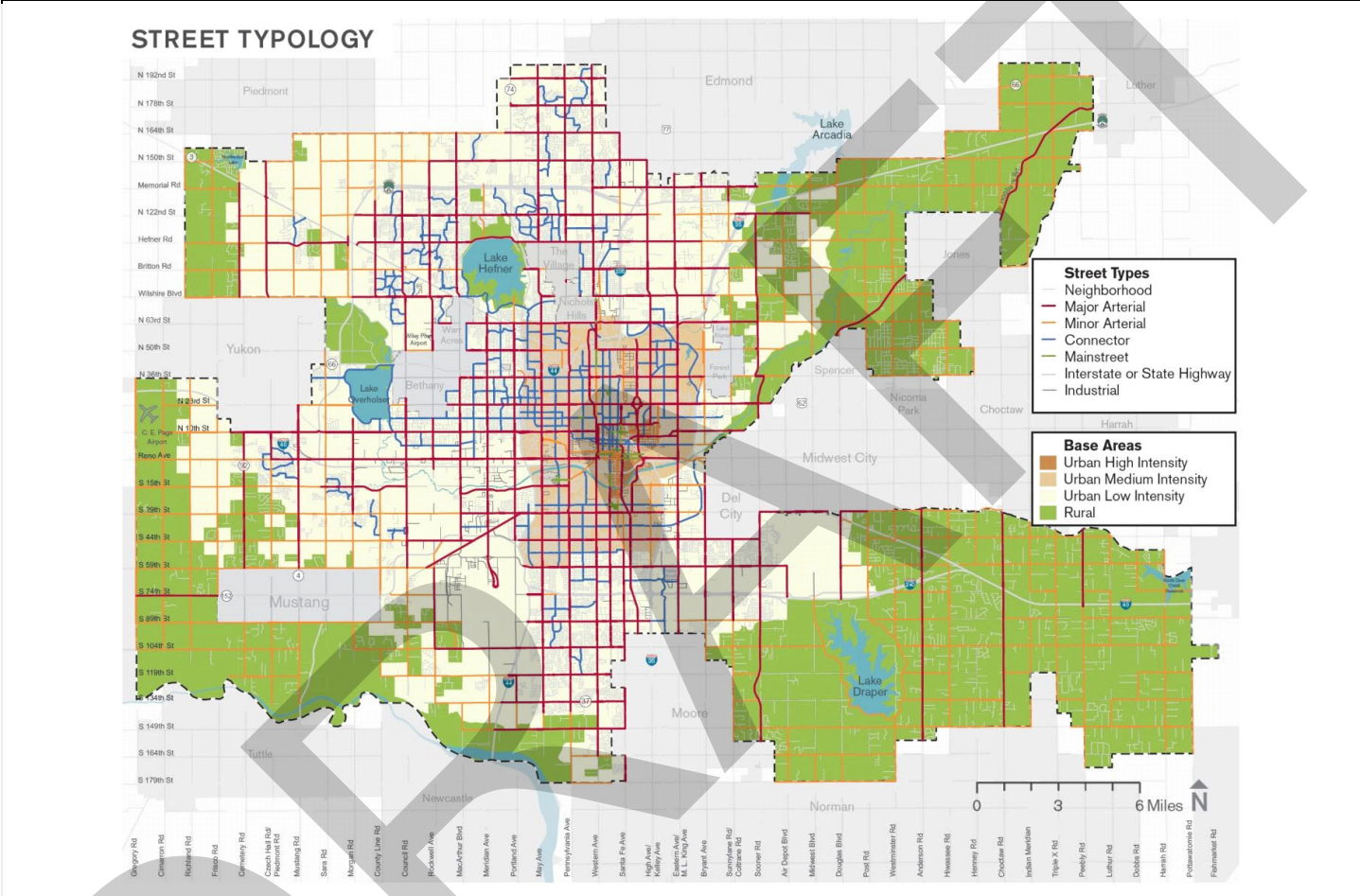
D. **Street Typology.**

1. The design and speeds along the City's streets affect the visibility and readability of signs. In turn, Oklahoma City's streets are an important element of site design because they affect mobility, land value, public service costs, character, and public health. Therefore, this article establishes the following street categories identified in *planokc* for purposes of regulating sign design and dimensions, ensuring that signs adequately communicate to persons using the street, and are consistent with the character of development:
  - a. Arterial, Major
  - b. Arterial, Minor
  - c. Connector
  - d. Neighborhood
  - e. Main Street
  - f. Industrial



- g. Downtown
  - h. Interstate or State Highway ("Highway")
2. These street categories are identified and defined in Chapter 2 (Development Guide), part 3.0 (Infrastructure & Investment) of *planokc*, which is incorporated by this reference. A copy of the Street Typology map is reprinted below.

**Figure 59-16106.1 planokc Street Typology Map**



**§ 59-16107 Freestanding Signs**

A. **Ground Signs.** Ground signs shall comply with Table 59-16107.1 below:



Figure 59-16107.1 Ground Signs (example)



Table 59-16107.1 Ground Sign Standards

	R	C (O-1, C-1, NB, O-2 NR on < 12,000 sf parcels, NC Tract 4)	C (O-2 NR on > 12,000 sf parcels)	C (DBD, DTD- 1, DTD-2) & I (C-2, C-3, C- CBD, I-1)	I (C-4, C-HC, I- 2, and I-3)	BC
<b>Permitted?</b>	NR/MF	Yes	Yes	Yes	Yes	Yes (MF only)
<b>Permit required?</b>	Yes	Yes	Yes	Yes	Yes	--
<b>Number (max.)</b>	1 per public building entrance	1 per public building entrance	1 + 1/200 lf of frontage	1 + 1/200 lf of frontage	1 + 1/200 lf of frontage	1 (MF only)
Sign area (max.-sf):						
<b>MF (see subsection 2 below)</b>	8-100 sf	8-100 sf	8-100 sf	8-100 sf		8-100 sf
<b>NR (max 1 sf / 2 lf frontage, up to:)</b>	100 sf	100 sf	150 sf per building	100-700 sf (see subsection 3 below)		100 sf
<b>Area based on frontage (sf / lf) up to max below:</b>						
▪ Site with < 100' of frontage	1 sf per 2 lf	1 sf per 2 lf	1 sf per 2 lf	1 sf per 1 lf	1 sf per 1 lf	1 sf per 2 lf
▪ Site with > 100' of frontage	1 sf per 2 lf	1 sf per 2 lf	1 sf per 2 lf	1.5 sf per 1 lf	1.5 sf per 1 lf	1 sf per 2 lf
<b>Fronting neighborhood street</b>	15 sf	25 sf	40 sf	40 sf	40 sf	15 sf
<b>Fronting main street</b>	25 sf	30 sf	40 sf	50 sf	60 sf	25 sf
<b>Fronting connector street</b>	35 sf	50 sf	65 sf	75 sf	85 sf	35 sf
<b>Fronting downtown street</b>	35 sf	50 sf	65 sf	75 sf	85 sf	85 sf
<b>Fronting industrial street</b>	20 sf	30 sf	40 sf	50 sf	55 sf	20 sf





Table 59-16107.1 Ground Sign Standards

	R	C (O-1, C-1, NB, O-2 NR on < 12,000 sf parcels, NC Tract 4)	C (O-2 NR on > 12,000 sf parcels)	C (DBD, DTD- 1, DTD-2) & I (C-2, C-3, C- CBD, I-1)	I (C-4, C-HC, I- 2, and I-3)	BC
Fronting minor arterial	65 sf	100 sf	135 sf	150 sf	170 sf	65 sf
Fronting major arterial	100 sf	100 sf	150 sf	150 sf	300 sf	100 sf
Fronting highway	100 sf	100 sf	150 sf	200 sf	700 sf	100 sf
<b>Height (max.-feet above grade)</b>						
Fronting neighborhood street	5'	8'	8'	8'	8'	8'
Fronting main street	6'	8'	8'	9'	10'	8'
Fronting connector street	8'	9'	10'	11'	12'	8'
Fronting downtown street	8'	12'	12'	12'	14'	8'
Fronting industrial street	8'	12'	12'	20'	20'	8'
Fronting minor arterial	12'	15'	15'	20"	20'	12'
Fronting major arterial	12'	15'	15'	20'	25'	20'
Fronting highway	12'	20'	30'	40'	50'	20'
<b>Location</b>						
Front Property Line Setback (min.-feet)	5'	5'	10'	10'	10'	10'
<b>Design Characteristics</b>						
EMD Level 1 (see § 59-16100)	Yes	Yes	Yes	Yes	Yes	Yes
EMD Level 2 (see § 59-16100)	Arterial only	Yes	Yes	Yes	Yes	Yes
EMD Level 3 (see § 59-16100)	No	No	No	Yes	Yes	Yes
Illumination, Internal	Yes	Yes	Yes	Yes	Yes	Yes
Illumination, External	Yes	Yes	Yes	Yes	Yes	Yes
Illumination, Halo Lit	Yes	Yes	Yes	Yes	Yes	Yes
Channel Letters	Yes	Yes	Yes	Yes	Yes	Yes
Changeable copy	Yes	Yes	Yes	Yes	Yes	Yes

**Rules of Interpretation:**

**Yes** = the sign type or characteristic is permitted

**No** = the sign type or characteristic is not permitted

**R** = the sign type or characteristic is required

**NR** = the sign type is permitted for non-residential uses or mobile home parks permitted under R-MH-2 District regulations

**MF** = the sign type is permitted for multiple-family residential uses only

See § 59-16106 for sign districts and street categories.

\* Individual or aggregate uses abutting a freeway are allowed 200 sf regardless of frontage, up to the maximum provided in the applicable district as calculated above.

- Generally.** Ground signs shall conform to Table 59-16107.1 above. Ground signs shall be designed as monument signs, except along freeways as provided in Section 59-16111.
- Multiple-Family Residential.** Multiple-family residential uses are permitted one wall sign per street frontage in lieu of an attached sign, with a maximum area as follows:  
5 - 12 units: 8 sf;



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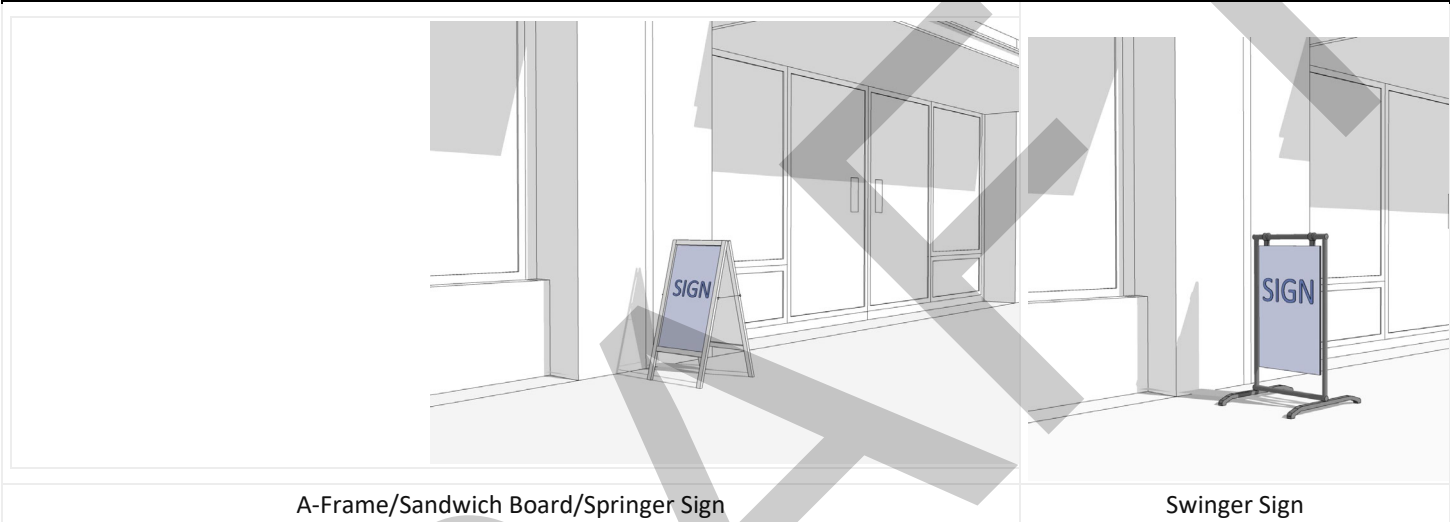
13 - 29 units: 24 sf;

> 30 units: 1 sf per 2 lf of frontage, up to 100 sf.

- Sign District "I."** For the "I" sign districts, frontage above 200 feet used to permit an additional freestanding sign in Table 59-16107.1 above does not count toward calculations to permit a larger sign.

- A-frame, Sandwich Board, Springer and Swinger Signs.** A-frame, sandwich board, springer and swinger signs shall comply with Table 59-16107.2 below:

Figure 59-16107.2 Sandwich Boards (example)



A-Frame/Sandwich Board/Springer Sign

Swinger Sign



Table 59-16107.2 Sandwich Board Standards

		Design Review Districts only
1	Minimum right-of-way width required (measured from back of curb to building face)	8'
2	Permit required?	No
3	Number per street level tenant at building frontage (max)	1
4	Sign area (max.-sf)	8 sf per side
5	Sign width (max.-inches)	--



**Table 59-16107.2 Sandwich Board Standards**

		Design Review Districts only
6	<b>Height</b> ( <i>max.-feet</i> )	4' 8" above grade
	<b>Location</b>	
7	<b>Sidewalk Clearance</b> ( <i>unobstructed walkway maintained at all times within the Sidewalk Zone, min.-feet</i> )	5'
	<b>Design Characteristics</b>	
8	<b>Digital</b>	No
9	<b>Illumination, Internal</b>	No
10	<b>Illumination, External</b>	No
11	<b>Illumination, Halo Lit</b>	No
12	<b>Channel Letters</b>	No
13	<b>Animated</b>	No
14	<b>Changeable Copy</b>	No
<b>Rules of Interpretation:</b> <b>Yes</b> = the sign type or characteristic is permitted <b>No</b> = the sign type or characteristic is not permitted See § 59-16106 for sign districts and street categories.		

1. A-frame, sandwich and springer signs are only permitted where specifically allowed in Design Review Districts and shall conform to Table 59-16107.2 above.
2. A-frame, sandwich and springer signs within the DBD shall be located within the Streetscape Zone.
3. A-frame, sandwich and springer signs shall:
  - a. be weighted to ensure that they are not readily displaced;
  - b. be in place only during any period between dawn and dusk;
  - c. have frames constructed of hard plastic, wood or metal;
  - d. have faces consisting of chalk board or printed material;
  - e. only be located over paved surfaces;
  - f. be located so that adequate vehicle sightlines are maintained;
  - g. be located in a manner that does not obstruct pedestrian patterns or accessible routes;
  - h. be authorized by revocable permits if located in the street right-of-way; and
  - i. be designed so that they typically remain stationary and are not in motion; and
  - j. be removed from display when the face swings more than 20 degrees from vertical.

C. **Subdivision Entry.** Subdivision entry signs shall comply with Table 59-16107.3 below.



**Figure 59-16107.3 Subdivision Entry Signs (example)**



**Examples of Subdivision Entry Signs**



**Table 59-16107.3 Standards for Subdivision Entry Signs**

	R
<b>Permitted?</b>	Subdivision or residential developments $\geq$ 5 acres
<b>Permit required?</b>	Yes
<b>Number (per entry street)</b>	3 monument signs (1 for each side of the street or entry street median)
<b>Sign area (max-sf)</b>	
Each side of entry street	64 sf
Median	40 sf
<b>Height (max-feet)</b>	
Each side of entry street	10'
Median	6'
<b>Setback (min-feet)</b>	Z
<b>Design Characteristics</b>	
<b>Illumination, Internal</b>	Yes
<b>Illumination, External</b>	Yes
<b>Illumination, Halo Lit</b>	Yes
<b>Channel Letters</b>	Yes

**Rules of Interpretation:**  
**Yes** = the sign type or characteristic is permitted  
**No** = the sign type or characteristic is not permitted





Table 59-16107.3 Standards for Subdivision Entry Signs

R

Z = as established for the principal building by the applicable zoning district or sign master plan.  
See § 59-16106 for sign districts and street categories.

## § 59-16108 Attached Signs

### A. Generally

1. **Total.** Buildings are permitted attached signs as follows:
  - a. Wall or projecting signs to the maximum number provided in subsection B.
  - b. Awning, canopy, marquee, over- and under-canopy signs in addition to wall signs.
  - c. Supergraphics in the BC and DBD districts only, under the conditions provided in subsection D.
  - d. Roof, mural, skyline and window signs in addition to wall, projecting, awning, canopy, marquee, over- and under-canopy signs.
2. **Multiple-Family Residential.** Multiple-family residential uses are permitted one attached sign per street frontage in lieu of a ground sign, with a maximum area as follows:
  - a. 5 - 12 units: 8 sf;
  - b. 13 - 29 units: 24 sf;
  - c.  $\geq$  30 units: 1 sf per 2 lf of frontage, up to 100 sf.
3. **Building Code.** To the extent that any provision of this Section conflicts with the adopted building code, the building code prevails.

- B. **Wall Signs.** Wall signs shall comply with Table 59-16108.1 below.



Figure 59-16108.1 Wall Signs (example)

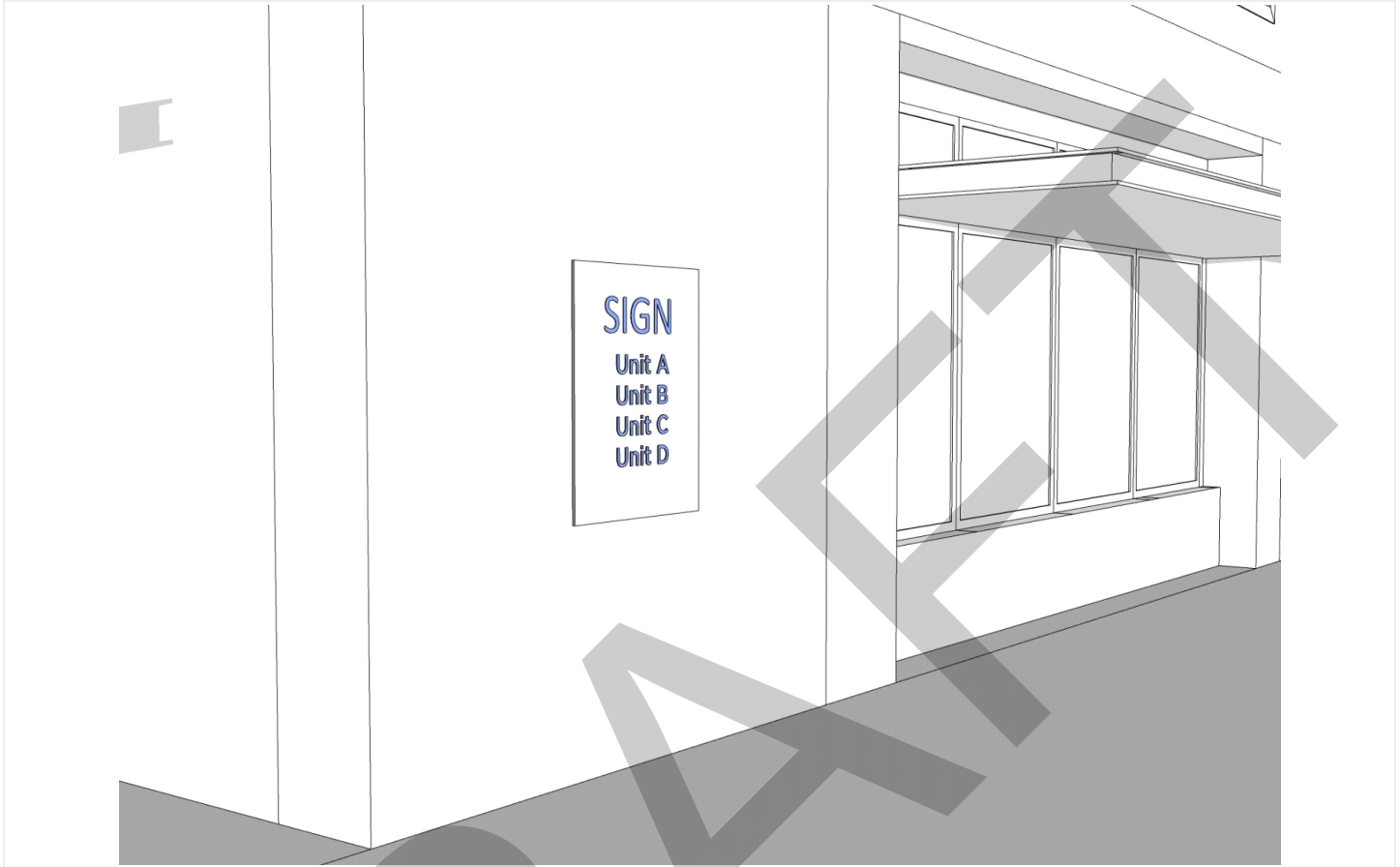


Table 59-16108.1 Wall Sign Standards

	R (Single- & Two-Family Residential)	R (All other uses)	C (O-1, C-1, NB, O-2 NR on < 12,000 sf parcels, NC Tract 4)	C (O-2 NR on > 12,000 sf parcels)	I	BC
<b>Permitted?</b>	Yes	Yes	Yes	Yes	Yes	Yes
<b>Permit required?</b>	No	Yes	Yes	Yes	Yes	Yes
<b>Number (max)</b>	1	1 per public building entrance	1 per public building entrance	1*	1*	1*
<b>Sign area (max.-sf)</b>						
<b>All buildings (max; except as provided below)</b>	4 sf	15% of wall area up to 250 sf	5% of wall area up to 500 sf	20% of wall area up to 400 sf	15% of wall area up to 400 sf	15% of wall area up to 250 sf
<b>MF (see subsection A.2 above)</b>	n/a	8-100 sf	8-100 sf	8-100 sf	8-100 sf	8-100 sf
<b>Location</b>						
<b>Property Line Setback (min.-</b>	Z	Z	Z	Z	Z	Z



**Table 59-16108.1 Wall Sign Standards**

	<b>R</b> <i>(Single- &amp; Two-Family Residential)</i>	<b>R</b> <i>(All other uses)</i>	<b>C</b> <i>(O-1, C-1, NB, O-2 NR on &lt; 12,000 sf parcels, NC Tract 4)</i>	<b>C</b> <i>(O-2 NR on &gt; 12,000 sf parcels)</i>	<b>I</b>	<b>BC</b>
<b>Height (max, feet)</b>	S	S	S	S	6'	S
<b>Design Characteristics</b>						
<b>EMD Level 1</b> (see § 59-16100)	No	Yes	Yes	Yes	Yes	Yes
<b>EMD Level 2</b> (see § 59-16100)	No	Yes	Yes	Yes	Yes	Yes
<b>EMD Level 3</b> (see § 59-16100)	No	No	No	No	No	Yes
<b>Illumination, Internal</b>	No	Yes	Yes	Yes	Yes	Yes
<b>Illumination, External</b>	No	Yes	Yes	Yes	Yes	Yes
<b>Illumination, Halo Lit</b>	No	NR	Yes	Yes	Yes	Yes
<b>Channel Letters</b>	No	Yes	Yes	Yes	Yes	Yes
<b>Changeable copy</b>	No	NR	Yes	Yes	Yes	Yes

**Rules of Interpretation:**

**Yes** = the sign type or characteristic is permitted

**No** = the sign type or characteristic is not permitted

**NR** = non-residential uses or mobile home parks permitted under R-MH-2 District regulations;

**MF** = multiple-family residential uses only;

**Z** = as established for the principal building by the applicable zoning district or sign master plan;

**S** = < height of surface to which sign is attached.

See § 59-16106 for sign districts and street categories.

\* One per building, or one per occupant with direct access from an exterior entry. Buildings in the BC district may include 1 additional sign per elevation.

- Generally.** Wall signs shall conform to Table 16108.1 above.
- Exemption for Certain Wall Signs, Cornerstones, and Tablets.** Signs on tablets and not exceeding 20 square feet in sign area, when cut into any masonry surface or when constructed of bronze or other incombustible material, are exempt from these regulations.
- Projection.** A wall sign may extend from the wall as provided below. Any sign that projects beyond the distance proscribed below is considered a projecting sign and subject to the clearance requirements in subsection C below.

**Table 59-16108.2 Projection Standards**

<b>Distance of bottom of the sign above the level of the ground below:</b>	<b>Projection (max)</b>
14 feet	13" from wall
Between 14 and 30 feet	22" from wall
> 30 feet	30" from wall

- Maximum Width.** No wall sign shall be wider than the surface to which it is affixed, except for a fascia sign.
- Entry Signs.** Additional wall signs are permitted at or abutting a public building entry ("entry signs") as follows:

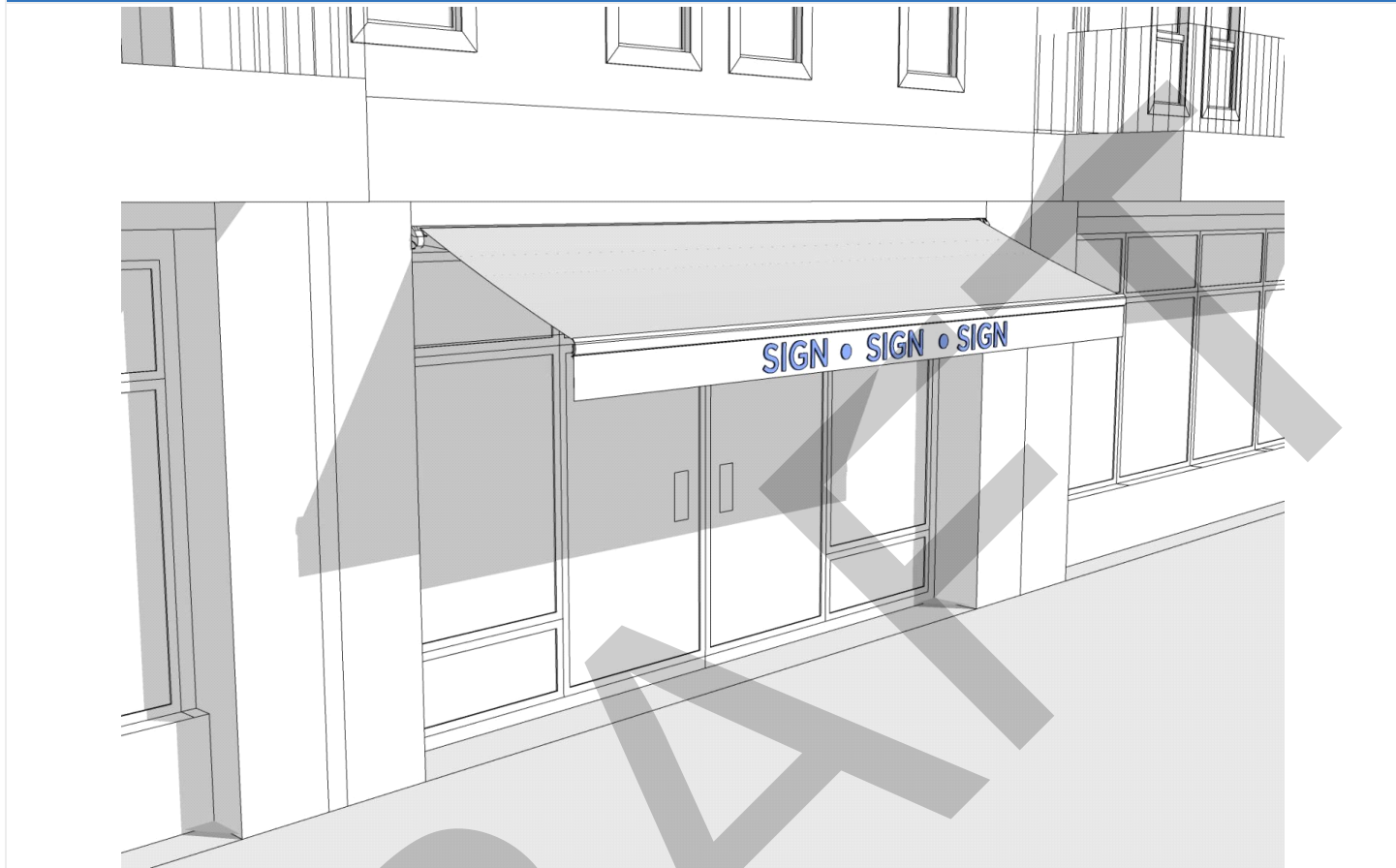


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- a. For non-residential buildings in the O-2 districts on parcels exceeding 12,000 square feet, entry signs are permitted in addition to the wall signs listed above, as follows:
    1. One (1) entry sign is permitted per occupant without direct exterior access, to be mounted on an exterior wall.
    2. One (1) entry sign is permitted per occupant with direct exterior access below a canopy or marquee. At least 8 feet of clearance above ground level to the bottom of the sign is required if the sign is suspended from a canopy or marquee.
  - b. In the "I" and "BC" sign districts, one (1) entry sign is permitted per each occupant of a building without direct exterior access.
  - c. Entry signs shall not exceed four (4) square feet in area, and non-flashing illumination is permitted.
  - d. Entry signs do not count toward the maximum sign area established in Table 16108.1 (Wall Sign Standards).
6. **Ghost Signs**
- a. This subsection applies to existing "ghost" signs, which were painted on the sides of buildings in the "BC" district.
  - b. Ghost signs may be restored or replaced within the limits of the existing sign subject to a Certificate of Approval, but do not require a sign permit.
  - c. Ghost signs are not included in calculating the maximum display surface area for that building wall.
  - d. Ghost signs may be restored or replaced without matching the text of the original sign.
- C. **Awning / Over or Under-Canopy / Marquee Signs.** Awning, over-canopy, under-canopy and marquee signs shall comply with Table 59-16108.3 below.



Figure 59-16108.2 Awning Signs (example)



Examples of awning signs:







Figure 59-16108.3 Canopy Signs (example)



Examples of canopy signs:

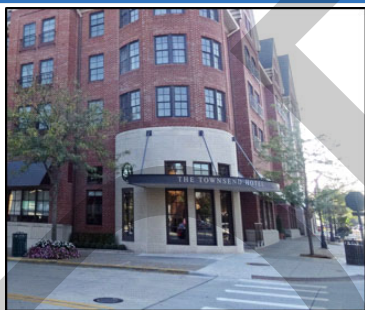




Figure 59-16108.4 Marquee Signs (example)



Examples of marquee signs:





Figure 59-16108.5 Over-Canopy Signs (example)



Examples of over-canopy signs:







Figure 59-16108.6 Under-Canopy Signs (example)



Examples of under-canopy signs:



Table 59-16108.3 Standards for Awning, Canopy, Marquee, Over- and Under-Canopy Signs

	R	C	I	BC
Permitted?	NR	Yes	Yes	Yes
Permit required?	Yes	Yes	Yes	Yes
Number per street frontage	--	--	--	--
Number per each tenant or occupant which has its own ground floor entryway or storefront (max.)	1	1	1	1
Number-total (max.)	--	--	--	--





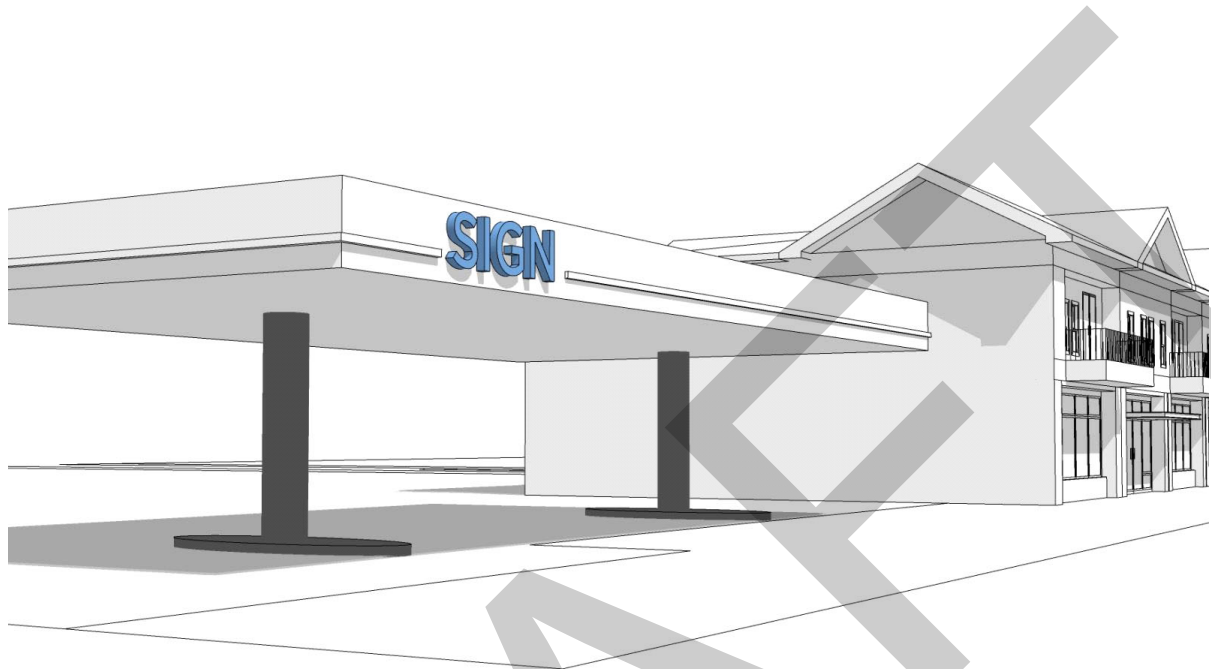
**Table 59-16108.3 Standards for Awning, Canopy, Marquee, Over- and Under-Canopy Signs**

	<b>R</b>	<b>C</b>	<b>I</b>	<b>BC</b>
<b>Dimensions</b>				
<b>Sign area (max.- sf)</b>	60	150	150	100
<b>Height</b>				
<b>Awning &amp; Canopy Signs (max.-feet; under-canopy is limited by vertical clearance)</b>	S	S	S	S
<b>Marquee Signs (above structure to which sign is attached)</b>	S	6'	6'	6'
<b>Location</b>				
<b>Property Line Setback (min.-feet)</b>	Z	Z	Z	Z
<b>Spacing between other signs (min.-feet)</b>	--	--	--	--
<b>Design Characteristics</b>				
<b>EMD Level 1 (see § 59-16100)</b>	Yes	Yes	Yes	Yes
<b>EMD Level 2 (see § 59-16100)</b>	Yes	Yes	Yes	Yes
<b>EMD Level 3 (see § 59-16100)</b>	No	No	No	Yes
<b>Illumination, Internal</b>	Yes	Yes	Yes	Yes
<b>Illumination, External</b>	Yes	Yes	Yes	Yes
<b>Illumination, Halo Lit</b>	Yes	Yes	Yes	Yes
<b>Channel Letters</b>	Yes	Yes	Yes	Yes
<b>Changeable copy</b>	Yes	Yes	Yes	Yes
<b>Animated</b>	No	No	No	Yes
<b>Rules of Interpretation:</b>				
<b>Yes</b> = the sign type or characteristic is permitted				
<b>No</b> = the sign type or characteristic is not permitted				
<b>NR</b> = the sign type is permitted for non-residential uses only				
<b>Z</b> = as established for the principal building by the applicable zoning district or sign master plan				
<b>S</b> = < height of surface to which sign is attached. See § 59-16106 for sign districts and street categories.				

1. A canopy, marquee, parapet wall, projecting, or combination sign may project up to 10 feet, subject to any right-of-way encroachment requirements of the adopted building code.



Figure 59-16108.7 Detached Canopies (example)



2. Detached canopies shall comply with Table 59-16108.4:



**Table 59-16108.4 Standards for Detached Canopy Signs**

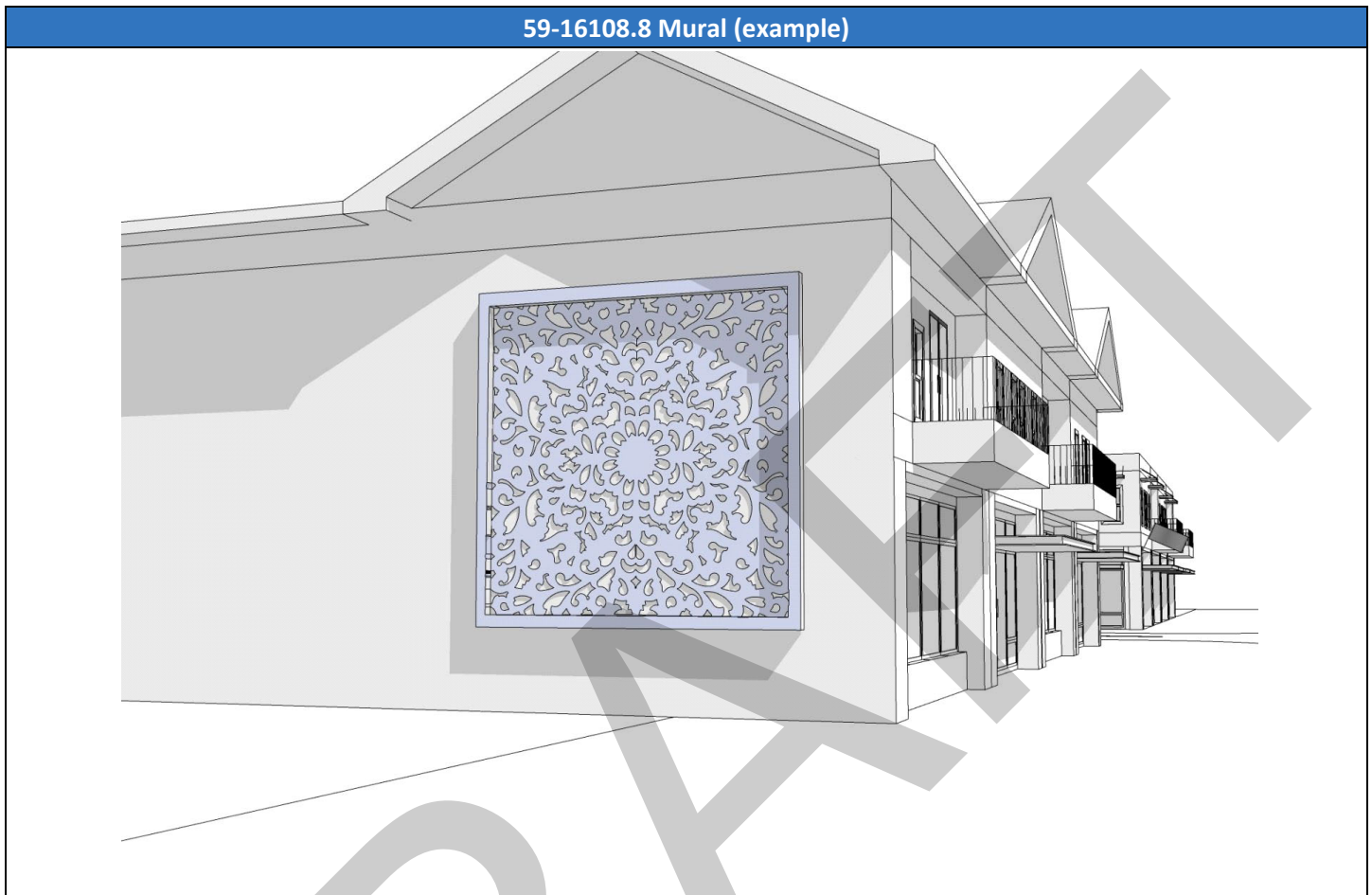
	<b>R</b>	<b>C</b>	<b>I</b>	<b>BC</b>
<b>Permitted?</b>	NR	Yes	Yes	Yes
<b>Permit required?</b>	Yes	Yes	Yes	Yes
<b>Number per street canopy fascia</b>	1 (1 fascia max)	1 (2 fascia max)	1 (2 fascia max)	1 (2 fascia max)
<b>Number-total (max.)</b>	--	--	--	--
<b>Dimensions</b>				
<b>Sign area (lesser of % of canopy fascia and max. sf)</b>	10% / 20 sf	10% / 20 sf	10% / 20 sf	10% / 20 sf
<b>Height</b>				
<b>Detached Canopy Signs</b>	S	S	S	S
<b>Location</b>				
<b>Property Line Setback (min.-feet)</b>	Z	Z	Z	Z
<b>Spacing between other signs (min.-feet)</b>	--	--	--	--
<b>Design Characteristics</b>				
<b>EMD Level 1 (see § 59-16100)</b>	Yes	Yes	Yes	Yes
<b>EMD Level 2 (see § 59-16100)</b>	Yes	Yes	Yes	Yes
<b>EMD Level 3 (see § 59-16100)</b>	No	No	Yes	Yes
<b>Illumination, Internal</b>	Yes	Yes	Yes	Yes
<b>Illumination, External</b>	Yes	Yes	Yes	Yes
<b>Illumination, Halo Lit</b>	Yes	Yes	Yes	Yes
<b>Channel Letters</b>	Yes	Yes	Yes	Yes
<b>Changeable copy</b>	Yes	Yes	Yes	Yes
<b>Animated</b>	No	No	No	Yes
<b>Rules of Interpretation:</b>				
<b>Yes</b> = the sign type or characteristic is permitted				
<b>No</b> = the sign type or characteristic is not permitted				
<b>NR</b> = the sign type is permitted for non-residential uses only				
<b>Z</b> = as established for the principal building by the applicable zoning district or sign master plan				
<b>S</b> = < height of surface to which sign is attached. See § 59-16106 for sign districts and street categories.				

**D. Supergraphics (Wallcapes/Building Wraps/Large Display Banners)**

1. **Allowance.** Supergraphics are permitted in the BC and DBD districts, and may remain in place for up to 60 days with a limit of 4 occurrences per location per year.
2. **Placement.** Supergraphics shall:
  - a. not exceed 80 percent of a building face and 50 percent of the total exterior of the building;
  - b. not cover or attach to significant architectural features of historical significance; and
  - c. shall maintain a minimum clearance of 14 feet from grade.
3. **Supergraphics** shall:
  - a. be constructed of a durable material in a matte finish, equivalent to or better than a billboard-grade vinyl mesh material; and
  - b. be properly secured to the wall; and
  - c. not damage the structure while in place or during installation and removal.



E. Murals



1. **Where Permitted.** Murals are a permitted use in all zoning districts, except the HP District.
2. **Copy.** Murals may include words, text, logos, emblems, trademarks or numbers within the depiction that do not exceed the following cumulative area, whichever is less:
  - a. 10% of the total size of the depiction, up to the maximum allowable attached sign area, or
  - b. 2.5% of the surface area of the wall to which it is attached or painted.
3. **Attachment.** Murals may be applied directly to the wall, or attached to a frame or substrate that is attached to a wall. Murals that extend beyond or project above the vertical or horizontal line of any wall onto which the mural is painted or affixed shall be appropriately attached so as to not create a safety hazard to the public.
4. **Components.** Murals may contain any of the following:
  - a. electrical components,
  - b. three-dimensional structures,
  - c. lighting;
  - d. moving elements,
  - e. images, and/or
  - f. any method that causes periodic changes in the appearance.





5. **Sign Permits for Murals**

- a. *Initiation.* Applications for mural permits shall be submitted to the Department on an approved application form accompanied by the following information:
  1. Site plan, aerial view, or diagram showing the lot and building dimensions, and indicating the proposed location of the mural.
  2. Scale drawing or color photo of the building showing proposed size and placement of the mural.
  3. Colored drawings of the proposed mural.
- b. *Licensed Contractor not Required.* Applicants for a mural permit are not required to be a licensed sign contractor.
- c. *Mural Permit Fee.* A mural permit application shall be accompanied by the fee established in Chapter 60 of the Oklahoma City Municipal Code, 2010, as amended. Such fee shall be used to defray the expense of processing the mural application and shall be non-refundable, regardless of the action taken on the application.
- d. *Review and Approval.* A mural requires a sign permit. If the mural is located in a Design Review District, a Certificate of Approval or Appropriateness is also required.
- e. *Standards for Approval.* Staff, the Director, Design Review Committees or Commissions shall approve the sign permit or Certificate of Approval or Appropriateness if it finds that all of the following:
  1. The mural's materials:
    - i. are securely attached to the building or structure to which it is applied, and
    - ii. incorporate paint or other artistic mediums such as tile or mosaic, and
  2. The mural is not applied to any surface that was unlawfully established.
  3. The mural does not constitute or create a traffic hazard for passing motorists or diminish public safety.
  4. The mural does not compromise the proper function of any building or use.
  5. The mural is not installed in a location that conflicts with setback requirements of the district in which it is located.
  6. The mural is not above a height that is or would be nonconforming to current building height limitations.
  7. The mural does not incorporate recognized signs of hatred or discrimination against any race, color, sex, age, national origin, disability, religion, ancestry, marital status, familial status, gender identity or expression, or sexual orientation.
  8. The mural does not depict any obscene, indecent or immoral content or that may be harmful to minors.

[Note: Design review ordinances may include other guidelines relating to murals that must be satisfied in addition to the criteria listed above.]

- F. **Projecting Signs.** Projecting signs shall comply with Table 59-16108.5.



Figure 59-16108.9 Projecting Signs (example)



Examples of projecting signs:



Table 59-16108.5 Projecting Signs

	(A)	(B)	(C)	(D)	(E)
↓ Requirements	Category →	R	C	I	BC
Permitted?		NR/MF*	Yes	Yes	Yes
Permit required?		Yes	Yes	Yes	Yes
Number per street frontage for buildings or tenants with more than one entrance (max.)		1	1	1	1



Table 59-16108.5 Projecting Signs

(A)		(B)	(C)	(D)	(E)
↓ Requirements	Category →	R	C	I	BC
Number per each occupant with its own ground floor entryway or storefront ( <i>max.</i> )		1	1	1	1
Number-total per single-tenant building or a multi-tenant building with a single entry ( <i>max.</i> )		1	1	1	1
Number-total ( <i>max.</i> )		n/a	n/a	-n/a	n/a
<b>Dimensions</b>					
<b>Sign area (<i>max.- sf</i>)</b>					
signs above the first floor plate		30	30	30	30
signs between 8 ft and first floor plate		12	12	12	12
<b>Vertical dimension (<i>max.-feet</i>)</b>		n/a	n/a	n/a	n/a
<b>Location</b>					
<b>Property Line Setback (<i>min.-feet</i>)</b>		C	C	C	C
<b>Spacing from all other signs (<i>min.-feet</i>)</b>		10	10	10	10
<b>Design Characteristics</b>					
<b>EMD Level 1 (see § 59-16100)</b>		Yes**	Yes	Yes	Yes
<b>EMD Level 2 (see § 59-16100)</b>		Yes	Yes	Yes	Yes
<b>EMD Level 3 (see § 59-16100)</b>		No	No	No	Yes
<b>Illumination, Internal</b>		Yes	Yes	Yes	Yes
<b>Illumination, External</b>		No	Yes	Yes	Yes
<b>Illumination, Halo Lit</b>		Yes	Yes	Yes	Yes
<b>Channel Letters</b>		Yes	Yes	Yes	Yes
<b>Changeable copy</b>		No	Yes	Yes	Yes
<b>Animated</b>		No	No	No	Yes
<b>Rules of Interpretation:</b>					
Yes = the sign type or characteristic is permitted					
No = the sign type or characteristic is not permitted					
NR = the sign type is permitted for non-residential uses only					
MF* = multiple-family residential uses in Historic Preservation (HP) District only					
C = see clearance regulations (subsection (A), above).					
** not permitted in Historic Preservation (HP) District					
See § 59-16106 for sign districts and street categories.					

G. **Roof Signs.** Roof signs shall comply with Table 59-16108.6 below.



Figure 59-16108.10 Roof Signs (example)



Examples of roof signs:



Table 59-16108.6 Standards for Roof Signs

	R	C <i>(0-2 NR on &gt; 12,000 sf parcels)</i>	I	BC
Permitted?	No	Type B*	Type B*	See subsection (1) below
Permit required?	n/a	Yes	Yes	Yes
Number per building	n/a	1	1	1 frame or 2 water tower (both on the same water tower)





**Table 59-16108.6 Standards for Roof Signs**

	R	C <i>(O-2 NR on &gt; 12,000 sf parcels)</i>	I	BC
<b>Dimensions</b>				
Sign area ( <i>max. per sign, sf</i> )	n/a	Within wall sign allocation above, up to 150 sf	Within wall sign allocation above	n/a
Frame sign	n/a	n/a	n/a	200 sf
Water tower signs	n/a	n/a	n/a	100 sf
Height	n/a	n/a	n/a	n/a
<b>Design Characteristics</b>				
EMD Level 1 ( <i>see § 59-16100</i> )	n/a	Yes	Yes	No
EMD Level 2 ( <i>see § 59-16100</i> )	n/a	Yes	Yes	No
EMD Level 3 ( <i>see § 59-16100</i> )	n/a	No	No	No
Illumination, Internal	n/a	Yes	Yes	Yes
Illumination, External	n/a	Yes	Yes	Yes
Illumination, Halo Lit	n/a	Yes	Yes	Yes
Channel Letters	n/a	Yes	Yes	Yes
Changeable copy	n/a	Yes	Yes	Yes
<b>Rules of Interpretation:</b>				
Yes = the sign type or characteristic is permitted				
No = the sign type or characteristic is not permitted				
See § 59-16106 for sign districts and street categories.				
* Allowed for structures > 7 stories only. For the I districts, a roof sign is permitted only in lieu of a balloon sign.				

1. **BC district.** Roof signs are allowed in the BC district if that the applicant can demonstrate through photographic evidence that a Frame Sign or Water Tower Sign existed on the subject building at some point in the site's history.
  - a. "Frame Signs" means a sign placed on the roof of a building that is characterized by an exposed metal framework structure to support a neon sign.
  - b. "Water Tower Sign means a sign placed on the face of a reproduction water tower that is situated on the roof of a building.

**H. Skyline Signs.**

1. **Applicability.** Subsections A through E above apply to the portion of a building below 250 feet in height. The following standards regarding size, height and location of attached signs apply to the portion of the building above 250 feet in height. Attached signs in those areas (referred to here as "skyline signs") are permitted in all zoning districts and shall conform to the standards of this subsection.
2. **Size:** The maximum display surface area for the portion of each building face above 250 feet in height is determined as follows:



Figure 59-16108.11 Skyline Sign (example)



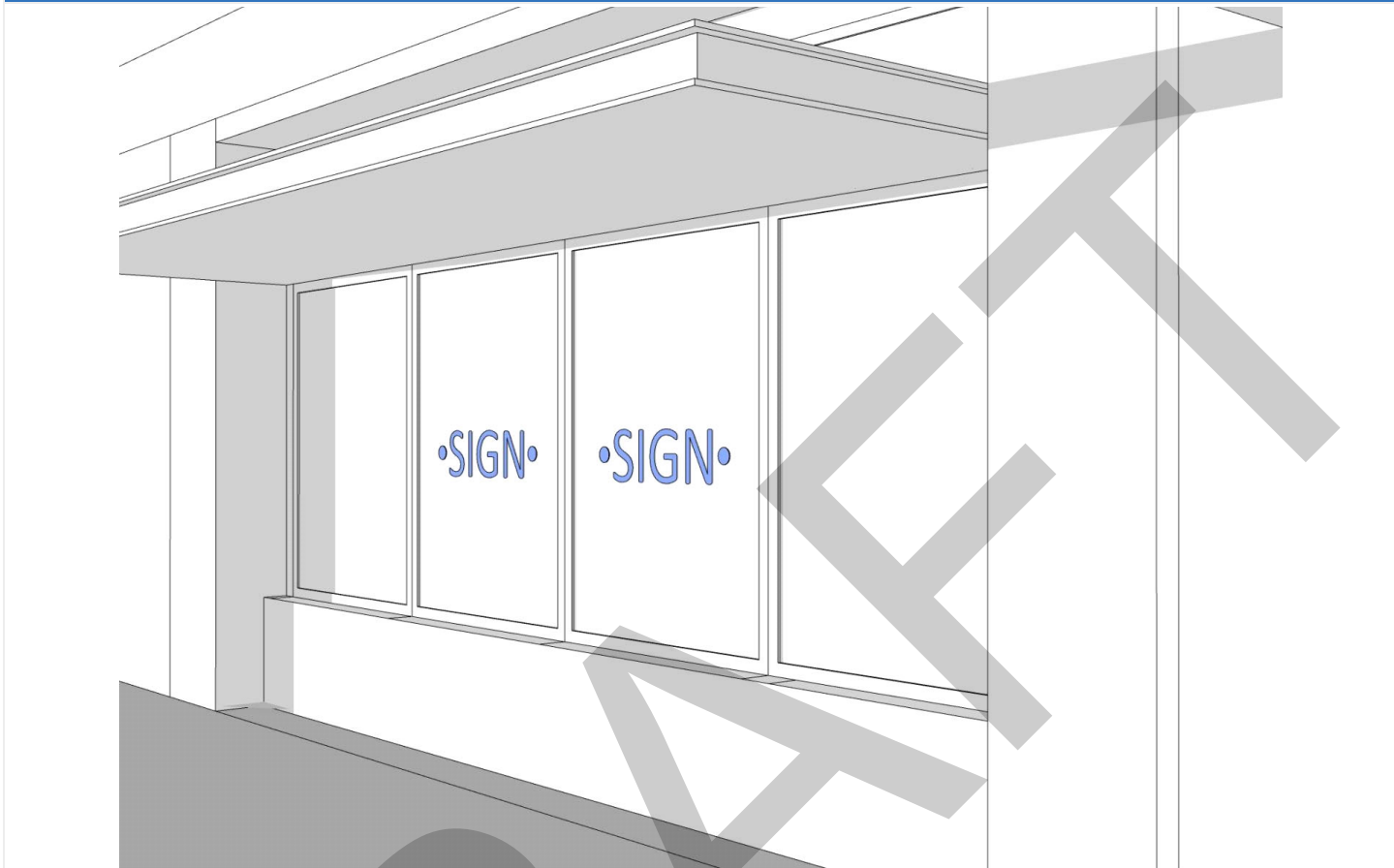
Table 59-16108.7 Skyline Sign Display Surface Area

Building Height	Maximum Display Surface Area
251—300 feet	350 square feet
301—350 feet	450 square feet
351—400 feet	550 square feet
401—450 feet	650 square feet
451 feet and above	750 square feet

3. **Height:** The maximum height of the sign shall not exceed ten feet above the top of the surface to which the sign is attached.
  4. **Location:** The skyline sign shall be located within the upper 25% of the building face, or within 10 feet of the top of the surface to which the sign is attached.
- I. **Window Signs.** Window signs shall comply with Table 59-16108.8 below.



Figure 59-16108.12 Window Signs (example)



Examples of window signs:



Table 59-16108.8 Standards for Window Signs

	R	C	I	BC
Permitted?	Yes	Yes	Yes	Street level only
Permit required?	No	No	No	No
Number per street frontage (max.)	n/a	n/a	n/a	n/a
Number-total (max.)	n/a	n/a	n/a	n/a



**Table 59-16108.8 Standards for Window Signs**

	R	C	I	BC
<b>Dimensions</b>				
<b>Sign area</b> ( <i>max. % of available glazing along the street frontage at street level</i> )	10%	25%	25%	25%
<b>Height</b> ( <i>max.-feet</i> )	n/a	n/a	n/a	n/a
<b>Location</b>				
<b>Property Line Setback</b> ( <i>min.-feet</i> )	Z	Z	Z	Z
<b>Spacing between other signs</b> ( <i>min.-feet</i> )	n/a	n/a	n/a	n/a
<b>Design Characteristics</b>				
<b>EMD Level 1, 2 or 3</b> ( <i>see § 59-16100</i> )	No	No	No	No
<b>Illumination, Internal</b>	No	Yes	Yes	Yes
<b>Illumination, External</b>	No	No	No	No
<b>Illumination, Halo Lit</b>	No	No	No	No
<b>Channel Letters</b>	No	No	No	No
<b>Changeable copy</b>	Yes	Yes	Yes	Yes
<b>Rules of Interpretation:</b>				
<b>Yes</b> = the sign type or characteristic is permitted				
<b>No</b> = the sign type or characteristic is not permitted				
<b>Z</b> = as established for the principal building by the applicable zoning district or sign master plan. See § 59-16106 for sign districts and street categories.				

**§ 59-16109 Miscellaneous Signs**

**A. Balloon Signs**

**Figure 59-16109.1 Balloon Sign (example)**



**1. Applicability.**

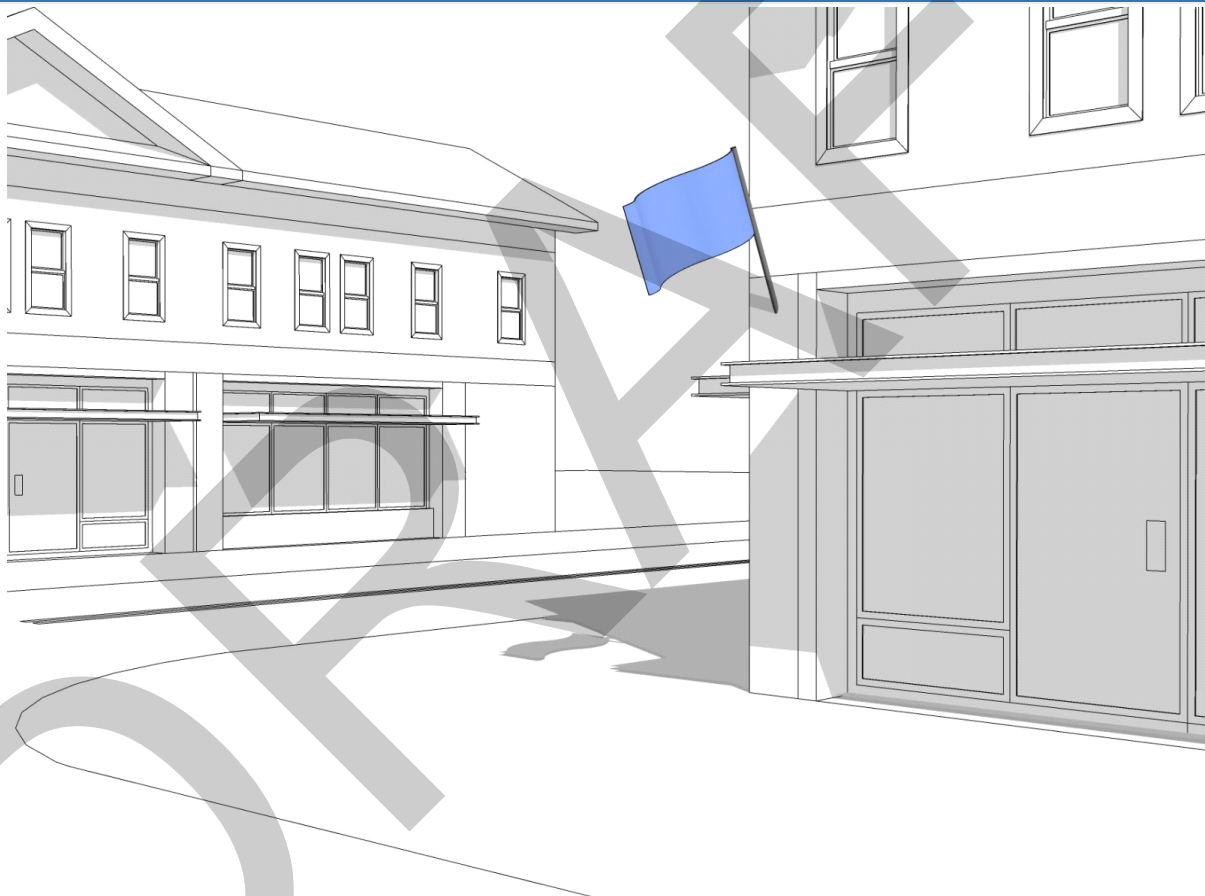
- a. One balloon sign is allowed per structure in the “I” sign districts regardless of the number of stories of the structure. A balloon sign is allowed only in lieu of a roof sign.
- b. In all zoning districts, one balloon sign is permitted per parcel for a maximum of 30 days per year. This is in addition to the incidental sign allocation in Section 59-16110.



2. Balloon signs are allowed any size or height if a minimum setback from street rights-of-way and utility easements is provided of at least the height of the top of the balloon to the ground.
3. The total display surface area of the balloon sign and all other attached signs shall not exceed the maximum permitted for attached sign in the zoning district.
4. The maximum height of a balloon roof sign shall not exceed 30 feet measured from the roof surface to the top of the balloon and the maximum allowed building height, measured from grade, permitted in the zoning district.
5. Any tethers to free-floating inflatable devices shall be of nonconductive material.
6. No balloon, regardless of size, shall be located in the street right-of-way, nor be allowed, when tethered to a site, to drift into the street right-of-way or utility wires.

**B. Flags**

Figure 59-16109.2 Flag (example)







Examples of flags:



Table 59-16109.1 Standards for Flags

	R	C	I	BC
<b>Permitted?</b>	Yes	Yes	Yes	Yes
<b>Permit required?</b>	No	Yes	Yes	Yes
<b>Number per lot (max.)</b>	3	3	3	3
<b>Dimensions</b>				
<b>Sign area (max.-sf)</b>	24	60	60	60
<b>Height of pole (max.-feet)</b>	25'	35'	35'	35'
<b>Location</b>				
<b>Property Line Setback (front / side-rear; min.-feet)</b>	10'/3'	5'	5'	n/a
<b>Spacing between other signs and between flag poles (min.-feet)</b>	10'	10'	10'	10'
<b>Design Characteristics</b>				
<b>Digital</b>	No	No	No	No
<b>Illumination, Internal</b>	No	No	No	No
<b>Illumination, External</b>	Yes	Yes	Yes	Yes
<b>Illumination, Halo Lit</b>	No	No	No	No
<b>Channel Letters</b>	No	No	No	No
<b>Changeable copy</b>	No	No	No	No
<b>Animated</b>	No	No	No	No
<b>Rules of Interpretation:</b>				
<b>Yes</b> = the sign type or characteristic is permitted				
<b>No</b> = the sign type or characteristic is not permitted				
See § 59-16106 for sign districts and street categories.				

- Flags, banners, pennants shall be securely mounted in a frame, pole or wall.

**C. Vehicle Signs**

- Signs are permitted to be painted or directly attached to a vehicle. Signs on buses or taxicabs are permitted if authorized elsewhere in this Code.
- Signs painted or affixed to trucks or semitrailers are prohibited, unless those vehicles are parked in a defined storage area as permitted by [Chapter 59](#) of this Code.
- No portable, A-frame, sandwich, swinger, or similar sign shall be mounted on a vehicle.



**§ 59-16110 Incidental Signs**

A. **Incidental Signs.** Incidental signs shall comply with Table 59-16110.1.

Figure 59-16110.1 Incidental Signs (examples)



Examples of incidental signs:



Table 59-16110.1 Standards for Incidental Signs

	R	C	I	BC
Permitted?	Yes	Yes	Yes	Yes
Permit required?	No	No	No	No
Number-total per lot (max.)	7	9	9	9
Sign area, cumulative (max.- sf)	35	85	85	76
Height (max.-feet)	5	16	16	16
Property Line Setback for freestanding signs (min.-feet)	10	10	10	10
Spacing between other Freestanding Signs (min.-feet)	10	10	10	10
<b>Design Characteristics</b>				
EMD Level 1 (see § 59-16100)	No	No	No	No
EMD Level 2 (see § 59-16100)	No	No	No	No



**Table 59-16110.1 Standards for Incidental Signs**

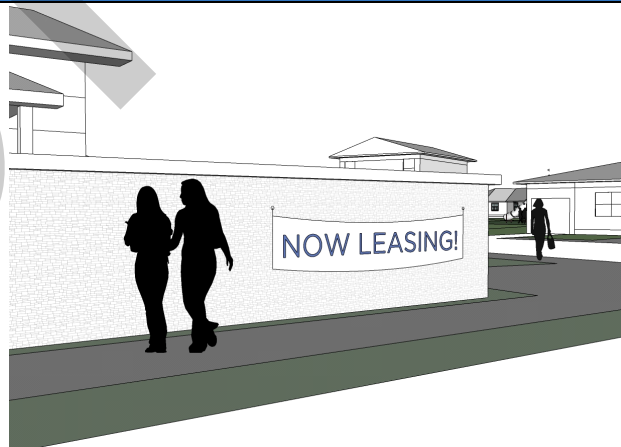
	<b>R</b>	<b>C</b>	<b>I</b>	<b>BC</b>
<b>EMD Level 3</b> (see § 59-16100)	No	No	No	No
<b>Illumination, Internal</b>	No	Yes	Yes	Yes
<b>Illumination, External</b>	No	Yes	Yes	Yes
<b>Illumination, Halo Lit</b>	No	No	No	No
<b>Channel Letters</b>	No	No	No	No
<b>Changeable copy</b>	No	Yes	No	Yes
<b>Animated</b>	No	No	No	No
<b>Rules of Interpretation:</b> <b>Yes</b> = the sign type or characteristic is permitted <b>No</b> = the sign type or characteristic is not permitted, or a permit is not required. Note: the special purpose districts of this Chapter may require design review or approval for the sign base, post, or attachments.				

1. **Generally.** No permit is required for the incidental signs. Incidental signs shall conform to the standards of this subsection, and to sight triangle regulations.
2. **Construction.** Incidental signs shall be securely attached to a structure or to stakes or posts that are firmly embedded in the ground.
3. **Illumination.** Incidental signs shall not be illuminated unless specifically permitted below.
4. **Display Period for Temporary Signs.** A temporary sign may be erected for the following maximum continuous time periods:
  - a. Freestanding Signs Mounted with Standard Wire Stakes or T-Posts: 30 days three times during a calendar year.
  - b. Freestanding Signs Mounted with Metal or Wood Frames, Decorations, or Mounting Methods of Similar Durability, or Temporary Wall Signs: 90 days over one calendar year, or 40 days three times during a calendar year.

**B. Temporary Subdivision Signs.** Temporary subdivision signs shall comply with Table 59-16110.2.

1. A temporary subdivision sign shall be designed as an incidental sign or freestanding sign.
2. All temporary subdivision signs shall be removed upon sale by the developer of all lots and/or residences in the subdivision.

**Figure 59-16110.2 Temporary Subdivision Sign (example)**





**Table 59-16110.2 Standards for Temporary Subdivision Signs**

		R, C, I
<b>1</b>	<b>Permitted?</b>	Yes
<b>2</b>	<b>Permit required?</b>	No
<b>3</b>	<b>Separation</b> ( <i>min, from another temporary subdivision sign in the same subdivision</i> )	400 feet
<b>4</b>	<b>Sign area</b> ( <i>max-sf</i> )	300 sf
<b>5</b>	<b>Height</b> ( <i>max-feet</i> )	16'
<b>6</b>	<b>Setback</b> ( <i>min-feet</i> )	behind all platted setback lines.
<b>Design Characteristics</b>		
<b>11</b>	<b>Digital</b>	No
<b>12</b>	<b>Illumination, Internal</b>	No
<b>13</b>	<b>Illumination, External</b>	Yes
<b>14</b>	<b>Illumination, Halo Lit</b>	No
<b>15</b>	<b>Channel Letters</b>	Yes
<b>16</b>	<b>Animated</b>	No

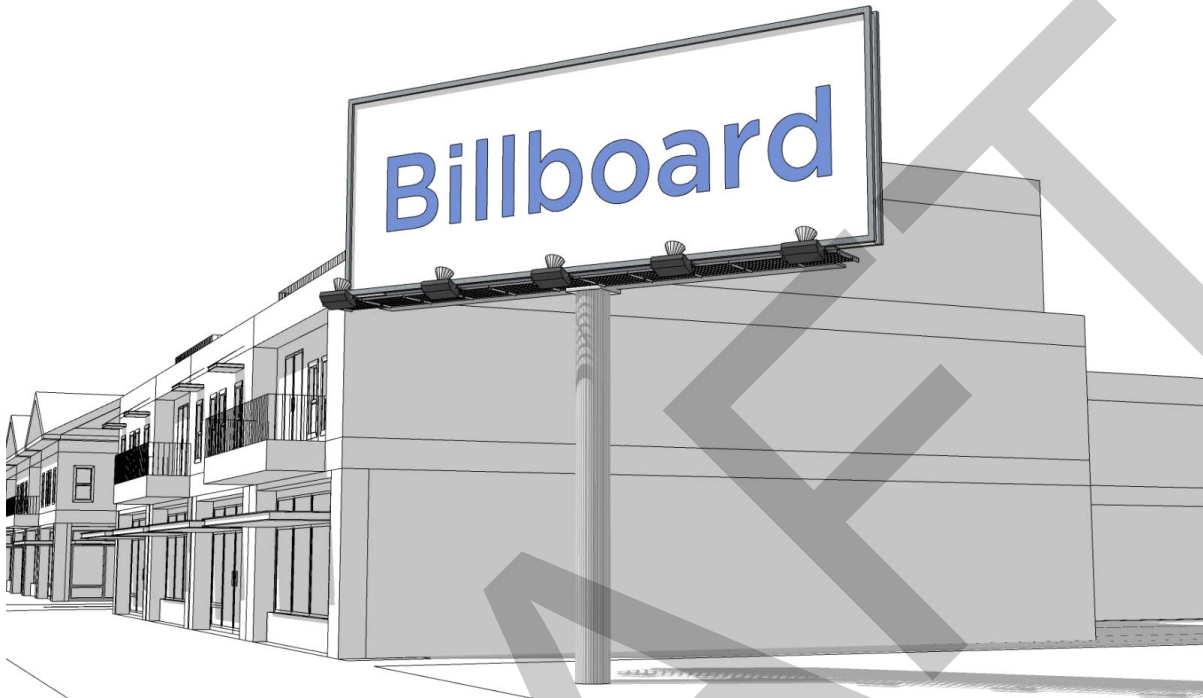
Rules of Interpretation: Yes = the sign type or characteristic is permitted; No = the sign type or characteristic is not permitted; R = the sign type or characteristic is required; NR = the sign type is permitted for non-residential uses only; “—” the standard does not apply. Z = as established for the principal building by the applicable zoning district or sign master plan. See § 59-16106 for sign districts and street categories.

**§ 59-16111 Billboards**





Figure 59-16111.1 Billboard (example)



**A. Where Permitted**

1. *Districts.* Billboards are permitted as follows:
  - a. as uses permitted by right in the C-4, I-2, and I-3 Districts;
  - b. as conditional uses in the following districts, subject to the standards in subsection 4 below:
    1. C-HC, and
    2. DBD except that, to protect the viewsapes of the Oklahoma City National Memorial, billboards are not permitted between Dean A. McGee Avenue, NW 7th Street, North Broadway Avenue and North Hudson Avenue, and
    3. C-3 and I-1 .
2. *Street Prohibitions.* The use of any boulevard, street, parkway, park road, or park under the control of the City for any billboard within full view of those traveling on a public road is prohibited.
3. *Freeway Location.* Billboards are only permitted on property that abuts a freeway. Billboards are not permitted on sites abutting or within full view of other street classifications.
4. *Conditional Use Standards.* The following apply to any billboard approved as a conditional use:
  - a. In the C-3 and I-1 districts, the lot size is at least 5,000 square feet.
  - b. In the DBD District, the billboard is subject to all regulations for freestanding signs in the Commercial (C) sign district.

**B. Sign size**





1. The display surface area for billboards design to be read from a freeway shall not exceed 672 square feet per sign face, except for a 20 percent allowance for extensions and cutouts.
2. The maximum width of a billboard is 60 feet.

**C. Height**

1. The maximum height of the highest point of a billboard designed to be read from a divided, limited access roadway with four or more traffic lanes is 50 feet above grade. However, if the sign is adjacent to an elevated roadway, the maximum height is 30 feet above the road grade.
2. The maximum height of the highest point of the structure for all other billboards is 35 feet above grade.
3. The minimum clearance between ground level and the lowest point of the display surface, exclusive of supports, is 6 feet.

**D. Location**

1. The location shall comply with all established building lines and required setbacks as outlined in this chapter and all other ordinances of the City.
2. Where there is no building setback line established by ordinance or subdivision plat, billboards shall be set back from the front lot line at least 25 feet.
3. If a railroad right-of-way crosses a public right-of-way, required setbacks or established building lines on adjacent properties are extended through or across the railroad right-of-way.
4. No billboard shall be constructed, erected, or placed in any way on the roof or walls of a building. A billboard may be constructed over but not on a roof if there is a minimum distance between the roof and the lowest point of the sign surface of 10 feet.

**E. Spacing Between Billboards**

1. The measurement for the spacing requirement is from the center of the sign support structure.
2. Regardless of the applicable zoning, no billboard shall be constructed, erected, placed, or replaced closer than 1,500 feet to another billboard in any direction.

**F. Spacing from Districts or Uses.** No billboard shall be constructed, erected, placed, or replaced closer than 300 feet to the nearest residentially zoned (PUD, SPUD, R-A, R-1, R-1ZL, R-2, R-3, R-3M, R-4M, R-4, R-MH-1, and R-MH-2) property.

**G. Lighting.** Billboards may be illuminated in compliance with Chapters 18 and 32 of this Code, and any other applicable ordinances. However, no flashing or intermittent lighting of billboards is permitted.

**H. Scenic Corridor**

1. *Purpose.* The purpose of this Section is to promote the reasonable, orderly and effective display of billboards in the City while remaining consistent with national policies, to protect the public investment in the interstate and Federal-aid primary highways, to promote and enhance the beauty, order, and attractiveness of the City to residents, tourists and visitors and thus, positively influence the economic prosperity of the area.
2. *Designation*
  - a. *Designation Procedure.* The City may designate a scenic corridor in the same manner prescribed for the designation of zoning districts by this chapter and subject to compliance with this subsection.
  - b. *Criteria.* The City may designate an area as a Scenic Corridor if it possesses one or more of the following attributes within the categories below, and finds that due to those factors, it is necessary to regulate and limit the number and placement of billboards in the area, resulting in the overall enhancement of the public health, safety, and welfare:
    1. The area has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the City, state or nation, or



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2. The area is designated as a special purpose district (Chapter 59, Article VII), or
  3. The area is an established and familiar visual feature of the City, or a neighborhood, community, or skyline owing to its unique location or singular physical characteristics, or
  4. The area includes unique natural features or landscapes visible from a street, or
  5. Substantial public and private investments have resulted in a heightened real estate market for new development within the area, including new residential development.
3. **Designated Scenic Districts.** No billboard is permitted within the boundaries of the following areas:
- a. *Downtown Scenic Highway Area.* The Downtown Scenic Highway Area, described as follows: *Beginning at a point on the East line of the Southeast Quarter of Section 32, Township 12 North, Range 3 West of the Indian Meridian, said point being located 500 feet north of the North right-of-way line of Interstate-40; thence Easterly along a line 500 feet North of and parallel to said north right-of-way line of Interstate-40 to the East line of Section 33, Township 12 North, Range 3 West; thence North along said East line of Section 33 to the intersection with the South line of NW 9th Street extended East; thence West along the South line of NW 9th Street to the East line of North Broadway Avenue; thence North along the East line of North Broadway Avenue to the North line of the Southeast Quarter of Section 28, Township 12, North Range 3 West; thence East along the North line of said Southeast Quarter of Section 28 and the North line of the Southwest Quarter of Section 27, Township 12 North, Range 3 West to the West line of North Stiles Avenue; thence South along the West line of Stiles Avenue to the South line of NE 10th Street; thence East along the South line of NE 10th Street to the East line of the Northwest Quarter of Section 34, Township 12 North, Range 3 West; thence South along the East line of said Northwest Quarter Section 34 to the intersection with the South line of NE 5th Street extended West; thence East along the South line of NE 5th Street to the West line of Lindsay Avenue; thence South along the West line of Lindsay Avenue to the South line of NE 4th Street; thence East along the South line of NE 4th Street to the West line of Lindsay Avenue, thence South along the West line of Lindsay Avenue to the South line of NE 3rd Street; thence East along the South line of NE 3rd Street to the West line of Phillips Avenue; thence South along the West line of Phillips Avenue to the South line of NE 1st Street; thence East along the South line of NE 1st Street to the East line of the Southeast Quarter of Section 34, Township 12 North, Range 3 West; thence South along the East line of said Southeast Quarter of Section 34 and the East line of the Northeast Quarter of Section 3, Township 11 North, Range 3 West to the North bank of the North Canadian River; thence Southwesterly along said north bank of the North Canadian River to a point of intersection with the South line of SW 11th Street extended East; thence West along the South Line of SW 11th Street extended to the East line of Section 4 Township 11 North, Range 3 West; thence North along the East line of said Section 4 to a point of intersection with the South line of SW 10th Street extended East; then West along the South line of SW 10th Street extended to the East line of South Walker Avenue; thence North along said East line of South Walker Avenue to a point of intersection with the South line of SW 10th Street extended East; thence West along the South line of SW 10th Street and extended West to the North bank of the North Canadian River; thence Westerly along the North bank of the North Canadian River to the said West line of Section 5, Township 11 North, Range 3 West; thence North along the West line of Section 5 to the Northwest Corner of said Section 5; thence East along the North line of said Section 5 to the Northeast corner of said Section 59, also being the Southeast corner of Section 32, Township 12 North, Range 3 West; thence North along the East line of said Section 32 to a point 500 feet North of the North right-of-way line of Interstate-40 to the point or place of beginning.*
  - b. *Lake Hefner Parkway.* Lake Hefner Parkway, from I-40 to NW 164th Street.
  - c. *I-35.* I-35, from NE 10th Street to NE 59th Street.
- l. **Relocation.** Billboards that are nonconforming as to the spacing requirement established in subsection E above may relocate subject to the following:



1. *Applicability.* To qualify for relocation, a sign must relocate to a freeway other than a scenic corridor (see subsection H above).
2. *Spacing.* The relocated sign may locate closer than 1,500 feet to another billboard, but shall not be constructed, erected, or placed closer than 1,200 feet to another billboard in any direction.
3. *Dimensional Standards.* The dimensional standards for the relocated billboards are:

Table 59-16111-2 Dimensional Standards for Sign Replacement	
Area ( <i>max, sf</i> )	Original sign area or 672 sf, whichever is less
Height ( <i>max, feet</i> )	Original sign height or 50', whichever is greater

4. *Credits for Relocation*
  - a. Except as provided in subsection c below, the relocated sign must comply with all applicable regulations of this article.
  - b. Each sign structure with one or two faces counts as one sign.
  - c. To relocate one billboard, the sign owner must remove the relocated sign and at least one (1) additional billboard that is separate from the billboard that is relocated. The applicant may remove signs from a designated scenic corridor identified in subsection H above, or any other freeway if no billboards are available for relocation on a scenic corridor.
  - d. The total area of the sign faces removed must equal at least the area of the relocated sign face.

**§ 59-16112 Signs in Right-of-Way or Public Property**

- A. Unless specifically permitted in another Section of this Article, no freestanding sign shall be placed on or over a public or private street, alley, or other rights-of-way. Merchandise, such as tires, produce, automotive vehicles, and any other articles for display or sale, shall not be located in any manner in the public right-of-way.
- B. The painting, scattering, posting, or spreading of any sign on any public right-of-way or public property is prohibited. This includes the posting of signs on any utility pole or device.
- C. Public Agency Signs on Public Right-of-Way.
  1. This subsection applies to signs placed in the right-of-way by a public agency.
  2. The sign shall not interfere with the sight triangle which is the intersection of two streets or a street and a driveway. The sign shall be a minimum of three feet from the curb. All proposed sign locations except signs authorized by the Director of Public Works to be mounted on existing street sign posts shall be at least 50 feet from the edge of the roadway at the street intersection and at least 20 feet from the intersection of a street curb line and a driveway.
  3. The applicant shall determine the location of all utilities prior to the placement of a sign(s) unless signs are to be mounted on existing street sign posts, which must be authorized by the Director of Public Works prior to sign mounting.
  4. The sign shall not be similar in shape and color to any City traffic control sign and may not exceed 18 square feet.
  5. The sign shall only be placed on the right-of-way adjacent to a lot and only if the current owner consents to the placement of the sign.
  6. A revocable permit is required if deemed necessary by the Public Works Director.

**§ 59-16113 Administration**



**A. Permits**

1. *Applicability*

- a. *Generally.* A permit from the Director is required before any person:
  - 1. displays, erects, structurally alters or relocates any sign; or
  - 2. removes or demolishes a sign
- b. *Electrical Code.* All illuminated signs are subject to the City's Electrical Code (Chapter 18 of this Code) and associated permit fees.
- c. *Installation.* Signs not affected by building code structural requirements may be installed by other than a licensed sign contractor if a permit is issued after application and review for conformance to all applicable regulations.
- d. *Design Districts.* In a design district, no construction, enlargement, or relocation of a sign is permitted until any applicable Certificate of Approval is approved.
- e. *Alteration.* Whenever a sign is changed, other than for ordinary maintenance and repair or to restore its original colors, it is considered a new sign and is subject to the sign permit requirements and applicable design review process.

2. *Submittal Requirements.* Application for a permit shall be made upon forms or electronic media required by the Director and shall contain the following information:

- a. the name, address, and telephone number of the applicant;
- b. the location of the building, structure or lot to which or upon which the sign or other advertising structure is to be attached or erected;
- c. the position of the sign or other advertising structure in relation to nearby buildings or structures;
- d. one blueprint or ink drawing of the plans and specifications and method of construction and attachment to the building or in the ground, when required by the Director;
- e. copy of stress sheets and calculations showing the structure is designed for dead load and wind pressure in any direction in the amount required by ordinance, when such is required by the Director;
- f. the name of the person erecting the structure;
- g. other information the Director may require to show full compliance with all ordinances.

3. *Fee.* Prior to the issuance of a permit pursuant to this Section, the applicant shall pay the fee established in Chapter 60, the General Schedule of Fees.

4. *Owner's Consent.* Before any permit is granted for the erection of a sign, plans and specifications shall be filed with the Building Official showing the dimensions, materials, and required details of construction, including loads, stresses, and anchorage. The applications shall be accompanied by the written consent of the owner or lessee of the premises upon which the sign is to be erected.

5. *Issuance*

- a. Upon the filing of an application for a permit, the Director shall examine the plans and specifications and other data, and the premises upon which it is proposed to be located if deemed necessary.
- b. No person shall be issued a permit pursuant to the provisions of this division unless they are a sign contractor licensed by the City, except as provided for certain signs in this Article V, and except murals.
- c. If it appears that the proposed structure complies with the building code, all requirements of this article, and all other laws of the City, the Director shall issue the permit.

6. *Identification.* Every sign for which a permit is issued and erected, constructed, or maintained shall be plainly marked with the name of the person, firm, or corporation owning, erecting, maintaining or operating such



sign. The method and location of this identification shall appear on the plans and within the specifications filed with the Building Official.

7. *Term.* The permit becomes null and void if the work authorized under a permit is not completed within 6 months after the date of issuance.

## B. Master Sign Plans

### 1. *Applicability.*

- a. This subsection B applies to:
  1. any development or redevelopment of at least 5 acres, and
  2. the design statement of any PUD or SPUD, and
  3. any other applicant who elects to file a master sign plan as part of a sign permit application.
- b. This subsection does not apply to any minor subdivision in the "R" sign districts.

### 2. *Master Sign Plan Incentives.*

- a. Where non-residential or mixed-use buildings are planned as a series of individual structures on individual lots with each individual lot having frontage on a public street, each individual structure may have monument signs in accordance with Section 59-16107 of this article if those sign(s) are included and approved on a master sign plan if:
  1. A building on the lot does not have a wall sign facing a public street, and
  2. The monument sign does not exceed 70% of the height and 15% of the area of the street-facing facade of the principal building on the site.
- b. The maximum cumulative sign area for wall signs and projecting signs is increased by 10%. The applicant may distribute the total sign area increase for all wall and projecting signs to individual signs in the project, but the increase shall not exceed 40 square feet for an individual sign.
- c. For ground signs:
  1. The maximum height is increased by 10%, and
  2. The maximum cumulative sign area is increased by 15%. The applicant may distribute the total sign area increase for all ground signs to individual signs in the project, but the increase shall not exceed 50 square feet for an individual sign.

### 3. *Criteria.* The master sign plan shall comply with the following:

- a. The master sign plan shall comply with all applicable requirements of this Article; and
- b. All signs shall be appropriately related in form, proportion, scale, color, materials, surface treatment, overall sign size, and the size and style of lettering to the function and architectural character of the building or premise on which they will be displayed; and
- c. All signs shall be placed in relation to the overall composition of a building's façade; and
- d. All signs shall use consistent mounting, and coordinate mounting location with the architectural features of the principal buildings on the site.

### 4. *Submittal Requirements.* The master sign plan shall include an overall sign program with performance standards that address design, lighting, color, materials, and type and method of construction to ensure that all signs within the development are designed in a consistent and compatible manner. The master sign plan application shall include:

- a. A written statement with supporting, scaled graphics that include, for all freestanding and attached signs:
  1. Size, location, and number of all signs, including area, letter height, and height, and





- 2. Materials, styles (letter colors, background colors, text, fonts, etc.), and colors for all signs subject to the master sign plan, including the context of where signs are placed along any site frontage or on any façade, and
  - 3. Type of illumination, and
  - 4. A design theme with illustrative examples of each sign type and the proposed general locations of each sign type.
- b. A site plan and elevations identifying the location, number, setback, dimensional standards, and other design standards for all freestanding signs.
  - c. Standards for wall signs and other types of attached signs.
  - d. The signature of all property owners subject to the master sign plan authorizing and consenting to the application and approved master site plan standards and conditions.

C. **Variations.** An Applicant may apply for a hardship variance from the Board of Adjustment pursuant to Article IV of this chapter.

**Note:** Applicants may also seek alternative compliance or a variance from the requirements of this Code, and Section 16102.10 may require a master sign plan. Table 16113.14 (Summary of Variations, and Master Sign Plans) summarizes these actions:

Table 16113.14 Summary of Variations and Master Sign Plans		
	Variance	Master Sign Plan
<b>Intent</b>	Provide relief from practical difficulties or unnecessary hardships.	Provide a unified design program for signs in a development.
<b>Eligibility</b>	Applicant must meet the hardship and unique circumstances criteria, found in § 59-4250.9 of this chapter.	Minimum 5 acres
<b>Where allowed</b>	All districts	All districts
<b>What is approved</b>	Modification of standards	Modification of standards may include monument signs for individual structures.
<b>Decision maker</b>	Board of Adjustment	Director or Planning as part of sign master plan or amendment

\* Deviation from standard.

D. **Approval of Electrical Inspector Required for Electrically Wired Signs**

- 1. The application for a permit for the erection of a sign in which electrical wiring and connections is used shall be submitted to the electrical inspector if required by the Director.
- 2. The electrical inspector shall examine the plans and specifications requesting all wiring and connections to determine if they comply with the electrical ordinances and shall approve the permit if the plans and specifications comply with those ordinances.
- 3. This action of the electrical inspector shall be taken prior to submission of the application to the Director for final approval or disapproval of the permit.

E. **Contractors**

- 1. *License*
  - a. No person, except a licensed sign contractor, shall engage in the business of manufacturing, installing, erecting, repairing, painting, altering, or servicing signs.



- b. This Section does not apply to murals.
  - c. Employees of duly licensed sign contractors are not required to obtain a license or pay a fee to engage in the work of manufacturing, installing, erecting, repairing, painting, altering, or servicing signs in the regular course of their employment.
  - d. No sign contractor's license shall be issued until the person applying for it pays to the City Treasurer the fee established in Chapter 60, the General Schedule of Fees.
2. *Bond*
- a. No sign contractor's license shall be issued until the applicant deposits with the City Clerk a surety bond in the sum of \$5,000.00 known as "sign contractor's bond." The bond shall be executed by the sign contractor, and the surety shall be a corporate surety company authorized to do business in this State.
  - b. The bond shall be in the favor of the City and conditioned that the licensee shall faithfully and properly conduct his business in compliance with the laws and ordinances of the City relating to signs and sign contractors and for the payment of all fines and penalties imposed by the violation of those laws and for the protection and indemnification of the City against all damages, resulting directly or indirectly from any injury to persons or property on account of the negligence or unskilled work of the licensee.
  - c. The bond shall be renewed annually and no person shall engage in the business of a sign contractor unless the bond as provided in this section is on file with the City Clerk.
3. *Vehicle Identification Required.* Every licensed sign contractor licensed shall have the firm's name painted on the side of all vehicles used in the operation of its business.
4. *Notice to Vendees or Lessees of Portable Signs Required; Form; Violations and Penalty.*
- a. All sign contractors, vendors, or lessors who sell or lease a portable sign shall notify the vendee or lessee of the said sign that the use of portable signs within the City is illegal and a violation of Section 3-103 of Chapter 3 of this Code. The sign contractor, vendor or lessor shall further notify the vendee or lessee that the placement of a portable sign on property within the City which is owned or occupied by said vendee or lessee may subject the vendee or lessee to criminal penalties.
  - b. The notice required by subsection "a" above to be given to the vendee or lessee of a portable sign shall be given both orally and in writing. The written notice to be given shall be in the form set forth in subsection c below and shall be delivered by the sign contractor, vendor, or lessor to the vendee or lessee of a portable sign at the time of the closing of the sale or lease.
  - c. The written notice required by subsection b above shall be in the following form:

NOTICE TO VENDEE OR LESSEE OF PORTABLE SIGNS

To: \_\_\_\_\_  
(Name of Vendee/Lessee)

From: \_\_\_\_\_  
(Name of Vendor/Lessor)

Date: \_\_\_\_\_

As the vendee or lessee of a portable sign, you are hereby notified that the use of portable signs within The City of Oklahoma City is illegal and a violation of Section 3-103 of Chapter 3 of the Oklahoma City Municipal Code, 2020. The placement of a portable sign on property within The City of Oklahoma City which is owned or occupied by you may subject you to criminal penalties.

/s/ \_\_\_\_\_  
(Agent of Vendor/Lessor)



- d. Failure of a sign contractor, vendor, or lessor to give the notice required by this Section shall constitute an offense. Each such failure shall be a separate offense. Upon conviction thereof, the violator shall be subject to the penalty specified by Section 1-6 of this Code.

## § 59-16114 Nonconforming Signs

### A. Generally

1. Any legal, nonconforming sign that exists prior to the adoption or amendment of this Code may continue, subject to the following provisions:
2. Any sign that was fully lawful when erected but does not conform with the current regulations of this article may continue unless the sign is altered in a manner that increases the degree of nonconformity or is abandoned for a period of more than two years.
3. If a sign is altered or abandoned, the sign owner shall immediately terminate and remove the sign unless it is brought into conformance with the provisions of this article and all other applicable City regulations.
4. Any sign erected without a permit is subject to immediate removal.

B. **EMDs.** Any EMD sign lawfully established in the SRODD and the “Cottage District” of DTD-1 is considered a nonconforming use and may continue to operate if the sign is otherwise in compliance with the operational requirements of Section 59-16100 of this Code.

C. **Nonconforming Billboards.** Within the Downtown Scenic Highway Area, existing billboards are considered nonconforming, and may continue unless they are altered as described in subsection B above.

## § 59-16115 Enforcement.

A. **Public Nuisance.** The following are declared a public nuisance endangering public safety:

1. Any sign situated in the right-of-way of a public street or in a required sight triangle, or
2. an unanchored sign, or
3. a sign damaged by storm or collision so that its presence constitutes a threat to the health, safety, and welfare of the public.

B. **Sign Impoundment Without Notice Authorized.** Upon discovery, the Mayor or a member of the City Council, a Code Enforcement Officer, any Police Officer, other City employees designated by the City Manager, or any person contracting with the City as an independent contractor (subject to the supervision and control of the City Manager) may impound a sign that is declared a public nuisance.

C. **Sign Maintenance.** No person may be cited for a violation of the maintenance requirements of this Article (Section 59-16103.C) or removal of abandoned signs (Section 59-16117) unless prior written notice of an alleged violation is first given in the manner indicated below.

1. Prior to the issuance of a citation, the City Manager shall first give 30 days' written notice of the alleged violation to the property owner or any person or persons who may be cited for the violation.
2. The written notice shall notify such person(s) of the apparent violation and shall state that a citation may be issued to such person(s) if the alleged violation is not abated within 30 days from the date shown on the written notice.
3. The City Manager may provide notice by personal service of mail.
4. Written notice by personal service is provided by handing a copy of the written notice to such person(s), then recording in the file of the case that personal service has been made.
5. When written notice is given by mail:



- a. For a violation of maintenance requirements of this Article (Section 59-16103.C), notice shall be mailed to the property owner at the address shown by the current year's tax rolls in the County Assessor's Office.
  - b. For the failure to remove abandoned signs (Section 59-16117), notice shall be mailed to the last known address of the recipient.
  - c. A receipt of mailing from the postal service which indicates the date of mailing and the name and address of the recipient is considered proof of service by mailing.
- D. **Responsibility for Code Violations.** Those responsible for the placement of signs and/or the causing of signs to be placed, located, built, constructed, or who benefit directly or indirectly from the placement, location, building or construction of signs in violation of this article, are subject to penalties set forth for applicable Code violations.
- E. **Disposition of Signs.** The City will dispose of all signs impounded pursuant to subsection A above.

## § 59-16116 Sign Measurement

The following rules are used to determine sign area:

- A. For signs of irregular design or with letters and/or symbols directly affixed to the wall of a building, the display surface area is determined by computing the area formed by a single continuous rectilinear perimeter of up to eight (8) straight lines enclosing the extreme limits or writing, representation, emblem or any figure of similar character, together with any material or color forming an integral part or background of the display or used to differentiate the sign from the backdrop or structure against which it is placed..
- B. Where a sign has two faces which are joined in a "V" shape forming an angle of more than 30 degrees but not to exceed 60 degrees or where such a sign contains three or more faces which are joined to form a polygon shape when viewed from above, the total display surface area of the sign may be increased by 150 percent of the allowable maximums as outlined in this subsection, provided that no one side of the sign exceeds 75 percent of the normal maximum size as set forth herein.
- C. The maximum display surface area of a double-faced sign as defined herein shall be calculated on the basis of only one sign face.
- D. The display surface area of a double-surface sign, when the two surfaces are greater than 36 inches apart and not joined to form a "V," as permitted above, shall be computed by adding together the square footage of each display surface. For signs over 25 feet in height, the distance between the surfaces may be increased to 60 inches maximum.
- E. The space between modules in a module sign, as defined herein, shall not be counted.
- F. The display surface area of a fascia sign shall be calculated by adding together the individual display surface areas of the front and the larger side of the fascia sign.
- G. The display surface area of a balloon sign shall be calculated by forming a rectangle from the height and largest width of the inflated device. The area of this rectangle shall be the display surface area of the entire balloon sign.

## § 59-16117 Abandoned Signs

- A. **Applicability.** This Section applies to any abandoned sign. An "abandoned sign" means a sign that:
  - 1. No longer displays copy, or
  - 2. is not maintained in good repair, or
  - 3. includes display copy that is no longer clearly legible, or
  - 4. No longer has a sign face for the display of copy.
- B. **Generally.** Abandoned signs shall be brought into compliance with this Section or removed.



- C. **Time of Compliance.** Abandoned signs shall be removed within 60 days after the use of the property is terminated or the business related to the sign is closed, at the owner's expense.
- D. **Pole Signs.** If the abandoned sign is a pole sign, the entire pole structure shall be removed. However, if the sign is a monument or wall sign, only the sign face is required to be removed or covered.

## § 59-16118 Definitions, Measurement and Rules of Interpretation

### A. General Rules of Interpretation

1. This Title establishes minimum requirements adopted for the promotion of the public health, safety, and welfare.
2. When a requirement of this Article varies from another provision of this Title, any other duly adopted City ordinance, or any duly promulgated rule or regulation of the City, the more restrictive, or that imposing the higher standards, applies.
3. Any action or approval authorized in this Article to be taken by an official may be taken by that official's designee.
4. When used in this Article, the phrase "used for" includes "arranged for," "designed for," "intended for," "maintained for," and "occupied for."
5. The term "include" means "including, but not limited to" unless otherwise provided.
6. Purpose statements are incorporated in some Sections to include a statement of the City's intent in adopting regulations, establish legislative findings of the facts supporting the provisions, and/or to explain how the Section works for the typical reader. Purpose statements are not requirements but may support the City's actions in interpreting and applying the requirements.
7. Any reference to a statute, provision of this Code, other laws or regulations, reference documents, technical manuals, or other documents refer to the most recent versions of those documents, including any amendments or updates to the statute, Oklahoma City Municipal Code, law, regulation, or other document.
8. The following elements of this Article are provided for explanatory purposes and for the convenience of the reader. They are not binding, and do not supersede any mandatory standards and procedures:
  - a. This Article includes graphics (such as drawings, diagrams, photographs, and images) to help the reader understand the text. If there is a conflict between a graphic and the text, the text applies.
  - b. Where a provision includes explanatory material or examples in italics, those provisions are for the reader's convenience and do not supersede the text or requirements that it explains.

- B. **Definitions.** The following words, terms and phrases have the following meaning when used in this Article, unless the context clearly indicates otherwise:

**Abut or Abutting:** Having a common border, or separated from a common border by a street, alley, right-of-way, service lane, stream or easement.

**Abandoned Sign:** See Section 59-16117 of this Code.

**Adjacent residentially zoned property:** the abutting residentially zoned property that is separated by a common property line. The sign setback shall be measured from the common property line. Residentially zoned property separated by a street, shall be measured from the sign to the nearest point on the right-of-way line of the residentially zoned property on the opposite side of the street.

**Aggregate use:** a group of primary uses integrated in a single development not separated by an opened public street, under common ownership, and sharing private parking facilities and other services in common.





**Air Dancer:** An inflatable device (generally about 20' in height) consisting of a long tube attached to a fan which causes the tube to move in a dancing or flailing motion. Air dancers are generally called an inflatable tube or a moving figure, such as "windyman," "skydancer," "tube man," "wacky waving inflatable arm flailing tube man," and "flyguy." Variants of an air dancer may resemble humans with tube arms.

**Animation:** A sequence of frames that, when played in order at sufficient speed, presents a smoothly moving image like a film or video. Animation includes any or a combination of digitized video or computer-generated graphics.

**Arterial:** Any major arterial or minor arterial.

**Arterial, Major:** any street designated as a major arterial in *planokc* (see Section 59-16106).

**Arterial, Minor:** any street designated as a minor arterial in *planokc* (see Section 59-16106).

**Attached sign:** a sign attached to, painted on, or in any other way represented on a building or a structural element of a building. Attached signs include: canopy sign, combination sign, fascia sign, marquee sign, module sign, parapet wall sign, projecting sign, roof sign, and wall sign.

**Attention-Getting Device:** means an air dancer, feather sign, propeller, spinner, streamer, search light or similar device or ornamentation that is designed to attract attention.

**Awning sign:** any sign painted, printed, attached, or otherwise applied to any facet or support structure of an awning. An "awning" means an architectural projection that provides weather protection, identity or decoration, and is partially or wholly supported by the building to which it is attached. An awning is comprised of a lightweight frame structure over which a covering is attached. (Source: *International Building Code 2015*)

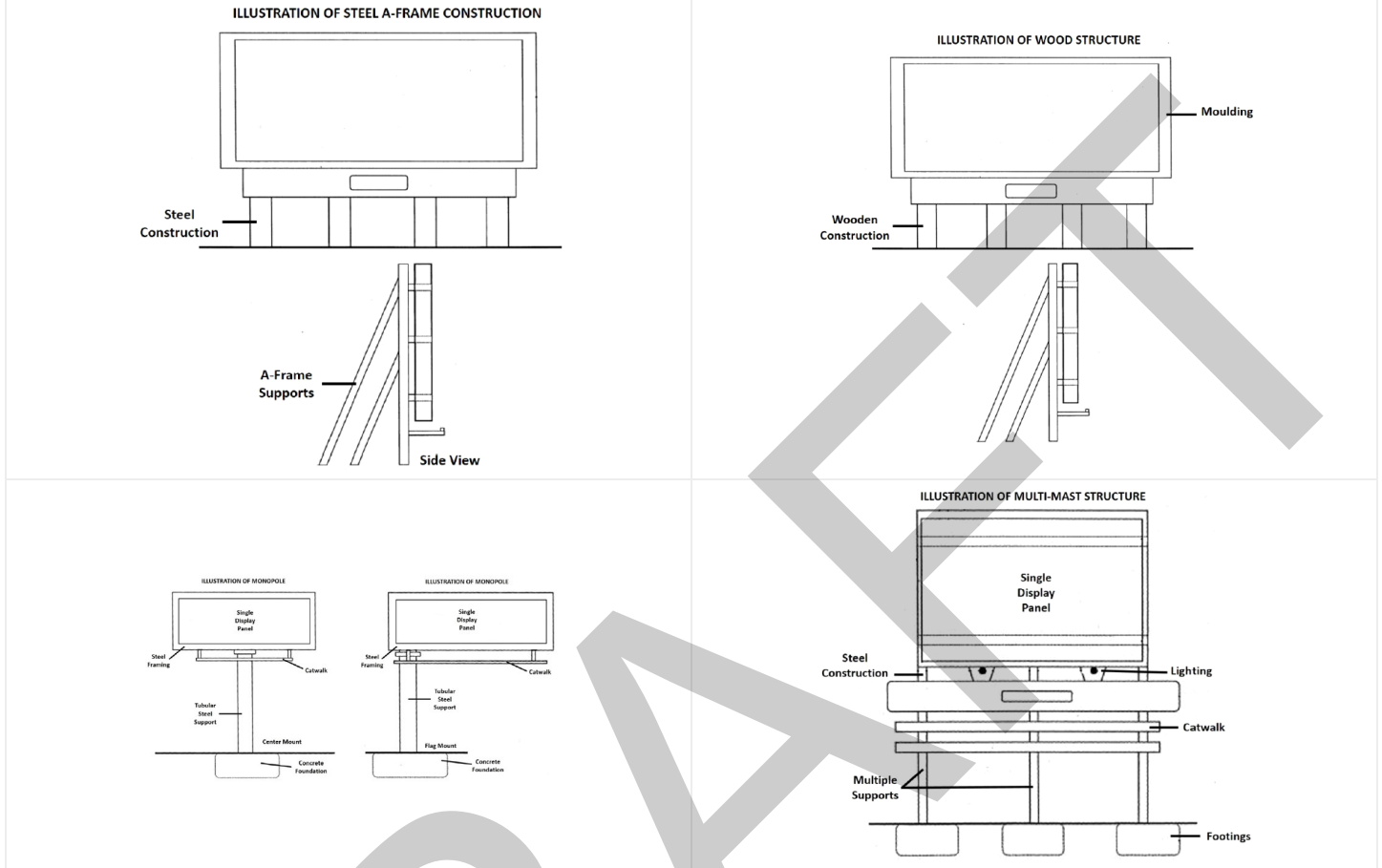
**Balloon Sign:** an individual or grouping of inflatable devices, at least three feet in height or width, with or without a specific message, figures or designs attached to its surface, used or intended to be used to attract attention. Depending upon its size or location a balloon sign may be considered a ground sign, a roof sign, an attached sign or a freestanding sign. Balloons that do not meet the definition in this paragraph are not governed under the regulations of this chapter.

**Banner:** A pennant, streamer, flag, picture, figure, or other object, made of fabric, cloth, bunting, plastic, paper, or any other non-rigid material with no enclosing framework.

**Billboard:** A freestanding sign or sign structure upon which copy is placed on a poster or panel and mounted on a pole or metal structure, typically as follows: (1) wood posts or pole supports with dimensional lumber as the secondary support (A-frame) with a wood or metal catwalk and a single display panel, (2) steel A-frame constructed with angle iron or steel supports with metal framing, catwalk, and a single display panel, (3) multi-mast structure constructed with steel poles, I-beam or equivalent as primary support, with a catwalk, and a single display panel, or (4) monopole structure constructed with tubular steel support, tubular steel framing, metal catwalk and a single display panel with a concrete foundation.



Figure 16118.1 Billboards (examples)



Source: North Carolina Department of Revenue, *Billboard Structures Valuation Guide* (2018).

**Block:** all of the lots or parcels abutting the same side of a dedicated street between the two nearest intersecting dedicated streets. If that area exceeds 600 feet, the first 600 feet beginning at the intersecting street nearest the intersection of Sheridan and Santa Fe Streets in downtown Oklahoma City, and each additional 600 feet (or portion) that abuts or remains in the area is considered a separate block.

**Building Code:** The City’s building code adopted pursuant to Chapter 12 of this Code.

**Building Elevation:** The view of any building or other structure from any one of its sides.

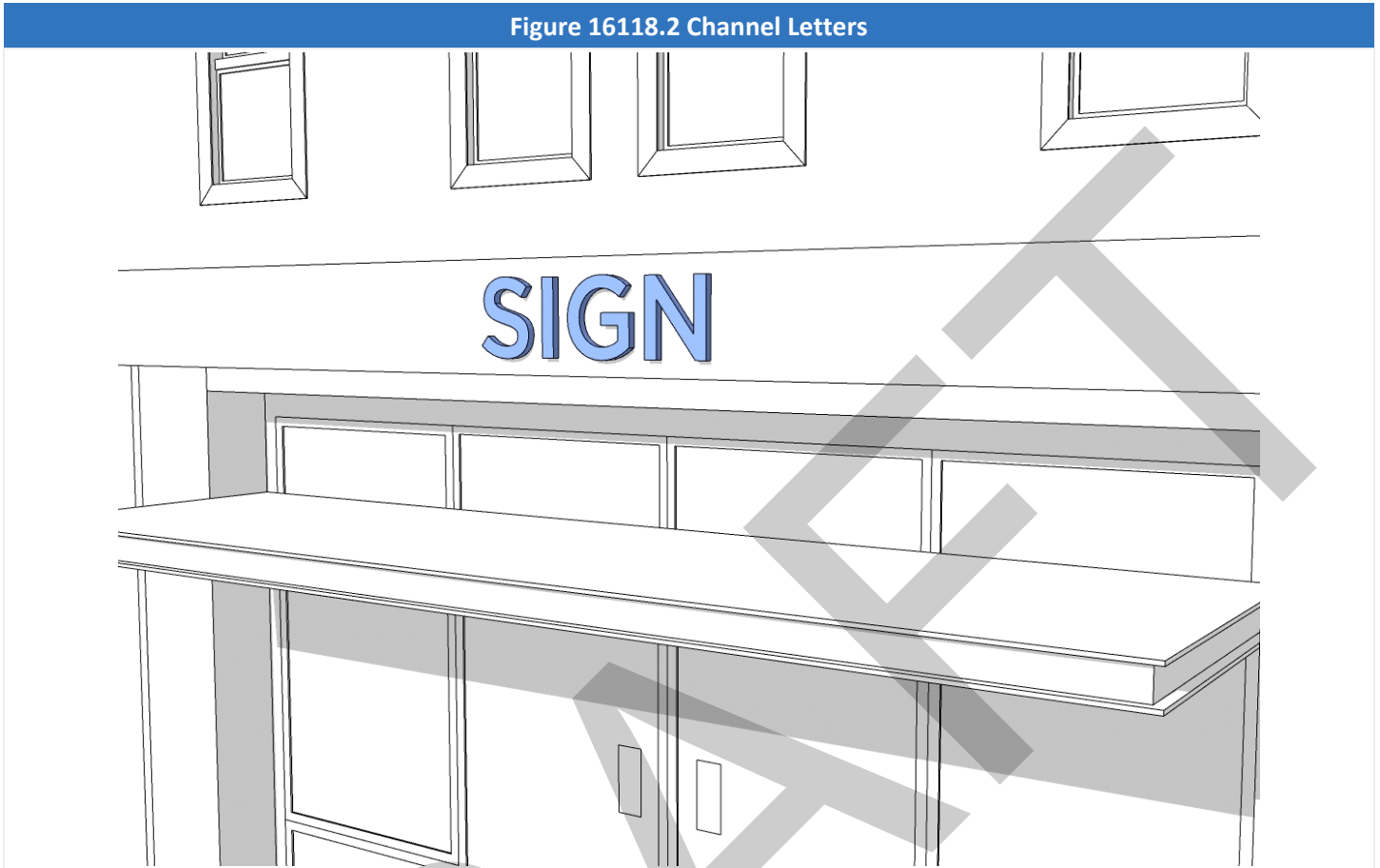
**Canopy:** A fixed shelter of any material and of any length projecting from a building and supported by columns or posts from the ground. Also known as an “awning.”

**Canopy Sign:** An attached accessory sign painted on or attached to the vertical side of, or erected on the roof surface of, a canopy or awning.

**Channel Letter:** A fabricated or formed three-dimensional letter, number, logo or symbol.



Figure 16118.2 Channel Letters



**Changeable Copy:** Copy that can be changed or rearranged without altering the Sign Face or Sign Structure, excluding Digital Copy.

**City Manager:** the City Manager of the City of Oklahoma City, or their designee.

**Combination sign:** A single attached accessory sign incorporating any combination of the features of the projecting, parapet wall, canopy, marquee, wall, and fascia signs.

**Commercial Copy:** Any sign text, logo, or other representation that, directly or indirectly, names, advertises, or calls attention to a business, product, service, or other commercial activity.

**Connector:** any street designated as a connector in *planokc* (see Section 59-16106).

**Coping:** The cap at the top of a wall, installed for decoration or for protection from weather elements.

**Copy:** Any words, letters, numbers, figures, designs or other symbolic representations incorporated into a sign.



**Decoration:** Illustrations, symbols, flags, streamers, bunting, wreaths, **Figures**, insignia, and other devices employed to express and illustrate a message of patriotic holiday or seasonal character and shall not be considered signs for the purposes of this chapter.

**Detached Canopy:** A freestanding shelter supported by columns or posts from the ground.

**Digital Copy:** Static images that are controlled by electronic communications that allow the images to be turned on or off intermittently.

**Director:** the Development Services Director, Planning Director or Public Works Director, as context dictates.

**Display surface:** The net geometrical area enclosed by the display surface of the sign including the outer extremities of all letters, **Figures**, characters, and delineations; provided, however, display surface area shall not include the structural supports for freestanding signs if the structural supports are so arranged as not to become a part of the attention-attracting aspect of the sign. Unless specifically provided in this article, the display surface area to be computed shall be based on the following standards:

**Dissolve:** A mode of message transition on an electronic message display accomplished by varying the light intensity or pattern, where the first message gradually appears to dissipate and lose legibility simultaneously with the gradual appearance and legibility of the second message.

**Double-faced sign:** A sign which has two display surfaces each of which is parallel to the other or joined in a "V" shape forming an angle of 30 degrees or less.

**Downtown Street:** any street designated as a downtown street in *planokc* (see Section 59-16106).

**Eave:** The projecting lower edges of a roof overhanging the wall of a building.

**Electronic Message Display (EMD):** A sign capable of displaying words, symbols, **Figures** or images that can be electronically or mechanically changed by remote or automatic means. These signs are further defined into the categories described in Section 59-16105.

**Embellishment:** An addition to the sign structure on which a continuation of the copy is placed. Standard bases and standard trim are not considered embellishments. An embellishment is considered part of the sign area.

**Erect:** To build, construct, place, locate, or structurally alter any sign; cause any sign to be built, constructed, placed, located, relocated or structurally altered; or benefit directly or indirectly from the building, construction, placement, location, relocation or structural alteration of any sign or other advertising device upon the site where it is to be utilized, whether permanent or temporary.

**Exposed Neon:** A neon sign in which the neon tubes are not enclosed by an opaque covering.

**Façade:** The exterior wall of a building exposed to public view or a wall viewed by persons not within the building.

**Fade:** A mode of message transition on an electronic message display accomplished by varying the light intensity, where the first message gradually reduces intensity to the point of not being legible and the subsequent message gradually increases intensity to the point of legibility.

**Fascia:** a continuous translucent panel illuminated from within, which may extend around one or more corners, and is attached to and designed as a part of a building.

**Fascia sign:** wall, canopy, marquee, or parapet wall sign attached to or printed on a fascia surface. Unless specifically provided in this chapter, a fascia sign shall be subject to the standards covering the sign it represents.

**Feather Sign:** A sign made of flexible material in the shape of a feather, quill, sail, blade or teardrop, and mounted on a solid or flexible pole or cord. These are sometimes referred to as "quill signs" or "sail banners."



Figure 16118.4 Feather Signs



**Flag:** A piece of fabric or other flexible material, with distinctive colors and patterns, customarily mounted on a pole or similar freestanding structure, or on a pole mounted on a building.

**Flashing.** See intermittent.

**Footcandle:** A measure of illumination on a surface that is one foot from a uniform source of light of one candle and equal to one lumen per square foot.

**Frame:** complete, static display screen on an Electronic Message Display.

**Frame effect:** visual effect on an Electronic Message Display applied to a single frame to attract the attention of viewers. Examples include words or symbols with intermittent lighting, zooming, chasing lights, and font or color changes.

**Freestanding sign:** sign which is attached to or a part of a completely self-supporting structure. The supporting structure is not attached to any building or any other structure and is anchored firmly to or below the ground surface.

**Freeway:** divided arterial highway with full control of access and complete separation of conflicting traffic flows. A freeway provides the highest level of mobility among street classification categories and does not provide direct land access. On and off freeway access is provided by an integrated system of ramps. Freeways provide service to regional generators, generally carry average daily traffic volumes (ADT) in excess of 20,000, and serve the longest trip lengths of any facility type.

**Front Setback:** The required distance from that side of a lot abutting on a street or way ordinarily regarded as the front of the lot, and a sign.

**Grade level** means the average level of the finished or natural surface of the ground area adjacent to the exterior walls of a building or adjacent to the supports of a sign structure. In this instance, adjacent shall be limited to a radius of 25 feet from the center of the sign structure.

**Ground sign:** a freestanding sign of limited height which is independent of any building or structure on the property and is placed upon the ground or supported by a base that is at least 50% of the width of the sign at its widest point. A sign attached to a wall or fence that serves as the boundary of a parcel is considered a ground sign. A ground sign does not include a pole sign.

**Halo Lit:** illumination created by concealing the light source behind three-dimensional opaque letters, numbers, or other characters of a sign, resulting in the nighttime perception of a halo around the silhouette of each character. This is also referred to as "reverse channel" or "reverse lit" illumination. A halo lit sign is not considered an internally illuminated sign.





**Height:** see "sign height."

**Highway:** any street designated as an interstate or state highway in *planokc* (see Section 59-16106).

**Illegal Sign:** A sign that does not meet the requirements of this Code and that has not received legal nonconforming status.

**Illuminated Awning:** Any awning lighted by or exposed to artificial lighting, either by lights on or in the awning, or directed toward the awning.

**Illuminated sign:** sign which has characters, letters, **Figures**, designs, or outlines illuminated by electric lights or luminous tubes whether such sources of illumination are a part of a sign or not.

**Illumination:** An artificial light source incorporated internally or externally to emanate light from, or direct light to, a surface. Light sources may include exposed tubing, electrical bulbs, fluorescent lights, neon tubes, light emitting diodes (LED), liquid crystal displays, or other artificial sources of light.

**Illumination, internal:** Illumination performed by electrical apparatus from within the sign structure or which is otherwise a part of the sign structure. Includes interior lighting behind a translucent panel, unless otherwise provided.

**Illumination, external:** Illumination performed by spotlights or other lighting devices and which is not a part of the sign proper.

**Incidental Sign:** a sign with copy located on a rigid panel and mounted on a pole or a wall or similar structure, with or without a structural frame, that is normally incidental to the allowed use of the property, but can contain any message or content. An incidental sign does not include an attention-getting device or other prohibited sign. Temporary signs are considered a form of incidental sign. *[Note: examples of customary uses for incidental signs include directional signs, real estate signs, non-commercial opinion signs, menu boards, garage sale signs, holiday decorations, property or tenant identification names or numbers, names of occupants, signs on mailboxes or newspaper tubes, signs posted on private property relating to circulation or private parking, political signs or signs warning the public against trespassing or danger from animals. This paragraph is provided to clarify the regulations and does not limit the content of incidental signs.]*

**Industrial Street:** any street designated as an industrial street in *planokc* (see Section 59-16106).

**Intermittent:** directly or indirectly illuminated sign, message, lighting or frame or portion thereof that changes at intervals of less than eight seconds. This includes any sign or portion thereof that exhibits changing light or color effect by any means at intervals of less than eight seconds. Examples include illumination that changes light color intensity in transitory bursts, illumination that creates the illusion of light changes by streaming, graphic bursts showing movement, or any mode of lighting which resembles zooming, twinkling, or sparkling.

**Light:** For purposes of defining a window, the aperture through which daylight may pass, such as a pane of glass. Lights are surrounded by mullions or transoms.

**Main Street:** any street designated as a main street in *planokc* (see Section 59-16106).

**Maintenance:** The cleaning, painting, repair, or replacement of worn or defective parts of a sign in a manner that does not alter in any way the approved signage.

**Marquee:** A permanent, fixed roof attached to, wholly supported by and projecting from a building.

**Marquee Sign:** An attached accessory sign painted on or attached to the vertical side of, or erected on the roof surface of, a marquee.

**Module:** separate unit of a sign which consists of an individual letter or an individual metal, plastic, masonry, or wood unit upon which no more than one letter or message is mounted or printed. Modules are open on three sides or mounted on a building with no visible interconnections between modules.



**Module Sign:** a sign formed of individual modules. A module sign shall be erected so that there is a space between modules. This sign shall be governed by the regulations applicable to the type of sign which the module sign represents. Any sign not meeting this definition is subject to the regular sign regulations.

**Monument sign:** see "Ground Sign."

**Move or Movement:** A sign or part of a sign that changes physical position by any movement or rotation. "Movement" includes any visible moving, revolving, or rotating parts or visible mechanical movement, or any apparent visible movement achieved by electrical, electronic or mechanical means.

**Mural:** visual depictions and/or works of art including mosaic, painting or graphic art technique applied, painted, implanted or placed directly onto the exterior of any wall of a building. A building, for purposes of this Section only, means any structure built for the support, shelter, or enclosure of persons, animals, chattels or movable property of any kind. [Reference: see Section 59-16108 of this Code.]

**Mullion:** Vertical posts between the lights of a window.

**Nit:** Measurement of luminance. One nit is equal to one candela per square meter (1cd/m<sup>2</sup>). An ordinary wax candle generates approximately one candela of luminance.

**Neighborhood Street:** any street designated as a neighborhood street in *planokc* (see Section 59-16106).

**Neon:** A source of light supplied by a glass tube that is filled with neon gas, argon, mercury or other inert gas that produces ultraviolet light, and bent to form letters, symbols, or other shapes. Neon includes all tubular light sources that employ a charged gas to illuminate a tube that glows, similar gas-activated tubular light systems that emit colors, and other tubular light sources (including fiber optics) that are used to form letters and shapes.

**Nonconforming Sign:** Any sign that does not conform to one or more applicable provisions of this Code, but that was lawfully erected and maintained, or approved in an PUD or SPUD, prior to the applicable provision or provisions.

**Parapet wall:** That part of any wall which extends through or above the roofline.

**Parapet wall sign:** Attached accessory sign erected on the top surface of a parapet.

**Owner:** A person recorded as such on official records. The owner of property on which a sign is located is presumed to be the owner of the sign, unless facts to the contrary are officially recorded or otherwise brought to the attention of the City.

**Over-Canopy Sign:** A sign on the top of a roof overhang of a covered porch or walkway.

**Painted Sign:** paint that is applied directly on a building wall to create a sign.

**Panel:** A plate, backing material, or other delineating surface that contains copy within a sign structure.

**Pennant:** A geometric shaped sign made of flexible materials, suspended from one or two corners fastened to a string, which is secured or tethered so as to allow movement and used as an attention-getting form of media.



Figure 16118.5 Pennants



**Pole Sign:** A freestanding sign that is supported by a pole, is not attached to a building, and where the bottom edge of the sign face is located at least three (3) feet above the average finished grade at the base of the sign. A “pole sign” does not include a flag mounted on a flagpole, where permitted by this Article.

**Portable Sign:** transportable sign with or without wheels and/or tires designed for temporary or permanent use. Typically, such signs are less than six feet in height, are mounted on a wheeled undercarriage or temporary base, and contain a display area designed to allow rapid revision of the letters, numbers and other characters in the advertising message. Such signs are a separate type and class of sign, and shall not be construed as being one of the other signs addressed in, or defined by, this chapter.

**Premises:** A lot or parcel, and includes other parcels that are part of a master sign plan included as part of master sign plan. For use in this Section, “premises” does not include: (1) easements, or (2) adjacent parcels except as provided above.

**Primary Use:** the single dominant use of any piece of property, or lot.

**Projecting Sign:** An attached sign which projects from and which has one end attached to a building, and which does not employ ground support in any manner.

**Projection Image Sign:** static or moving image electronically projected onto a structure or other stationary surface. Except as specifically regulated in the Design Review Districts, these are reviewed as Electronic Message Display signs.

**Property Line:** The boundary of any lot, parcel, or tract as platted or described in the conveyance of the property to the owner. “Property Line” does not include the streets or alleys upon which the lot, parcel, or tract abuts.

**Property Line Setback:** The required distance from any property line and a sign.

**Public Property:** Any property, real or personal, owned, leased or licensed by the City, county, state or federal government, including public rights-of-way, and for which the right to possess and control such property has not been legally surrendered, granted, licensed, or conveyed to a private person or entity.

**Public Sign:** A sign erected by any governmental entity in conjunction with the conduct of any governmental program, operation or activity, including, but not limited to, federal, state, county, and City governments, and school and recreation districts.



**Residential District:** The following districts, or areas or designated for residential use in an PUD/SPUD: AA (Agricultural); RA2 (Single-Family Two-Acre Rural Residential); RA (Single-Family One-Acre Rural Residential); R-1 (Single-Family Residential 6,000 square foot minimum); R-1ZL (Single-Family Residential Zero Lot Line); R-2 (Medium-Low Residential); R-3 (Medium Density Residential); R-3M (Medium Density Multiple-Family Residential); R-4M (Medium-High Density Multiple-Family Residential); R-4 (General Residential); R-MH-1 (Manufactured [Mobile] Home Subdivision); R-MH-2 (Manufactured [Mobile] Home Park District; and NC (Neighborhood Conservation, Tracts 1, 2 and 3).

**Right-of-Way:** The land within the public sphere which may be used by pedestrian or vehicular traffic.

**Roof:** The outside top covering of occupiable space in any building or structure.

**Roof Sign:** A sign that is mounted on the roof of a building, or that is wholly or partially dependent upon the building for support, and that projects above the highest point of a building with a flat roof, the eave-line of a building with a gambrel, gable, or hip roof, or the deck-line of a building with a mansard roof.

**Roof sign, Type A:** attached accessory sign designed to permit, but not necessarily be limited to, the erection of a shield, symbol, or similar trademark or brand name. Such sign shall be located immediately and entirely over the roof of a building and attached to a wall or pylon or similar physical support that is part of the physical and architectural design of the building. This definition shall apply only to a building which is six stories or less in height.

**Roof sign, Type B:** attached accessory sign erected on a vertical framework supported by and located immediately and entirely over the roof of a building which is seven stories or more in height.

**Roofline:** The eave or fascia of any wall plane.

**Sandwich Board:** A freestanding sign which is ordinarily in the shape of an "A," or spring mounted on a fixed base (or a variation of that), and which is usually two-sided. A "sandwich board" is also known as an A-frame or springer sign.

**Scroll:** mode of message transition on an electronic message display where the message appears to move vertically across the display surface.

**Sight Triangle:** See Section 59-12300 (Sight Distance Triangle Requirements).

**Sign:** a structure or device, permanently or temporarily attached to, painted on, supported by, or represented on a building, fence, post or other structure which is used or intended to be used to attract attention Unless otherwise provided, a "sign" includes the erection, construction or maintenance of any structure that meets the definition of "sign" above.

**Sign Area:** The entire sign face, including the advertising surface and any framing, trim, or molding, but not including the supporting structure. The sign area shall be measured as a rectangle, encompassing the largest horizontal width and largest vertical height.

**Sign Copy:** see "copy."

**Sign District:** a family of districts identified in Section 59-16106 for purposes of applying the Sign Code.

**Sign Face:** The area or display surface used for the graphic message.

**Sign Location:** The site where one or more freestanding sign structures may be erected. Where more than one structure is placed on either a permanent or temporary basis, there shall be no more than a 12-inch separation between structures at the same sign location.

**Sign Permit:** A permit authorizing the erection or maintenance of a sign pursuant to Section 59-16113 of this Chapter.

**Sign Structure:** Any combination of materials to form a construction for the purpose of attaching, fixing, or otherwise supporting a sign, whether installed on, above, or below the surface of the land, a building, or any other solid surface.

**Sign Height:** The vertical distance measured from the highest point of a sign to the lowest grade beneath the sign.

**Skyline Sign:** An attached sign that is placed above the first 250 feet of a building.



**Snipe Sign.** A sign illegally attached to a utility pole or utility box, or affixed to a public sign.

**Static:** Having no motion; being at rest. Fixed - stationary.

**Streamer:** An attention-getting device consisting of two or more balloons, ribbons, reflectors, fringes or similar objects strung together on a common line, pole, or sign structure, or attached to one or more products offered for sale.

Figure 16118.6 Streamers



**String Light:** A lighting fixture that is composed of electrical wiring encased in plastic with sockets for bulb placement.

**Strobe:** Sign where the message or lighting flashes on and off more often than once every second. This shall not include the use of flashing lights in a chasing or alternating fashion around the sign perimeter.

**Structure:** Anything built or constructed, whether or not permanently attached to the ground. Unless otherwise provided in this Article, "structure" includes the entire structure or any part of a structure.

**Subdivision Entry Sign:** A monument sign located along the entry to a subdivision from a collector or arterial street.

**Supergraphic:** A pennant, streamer, flag or any graphic illustration constructed of any material that exceeds 100 square feet in total area that is draped from or envelops portions of one or more sides of a structure and that is designed as a decoration or advertisement meant to attract the attention of passersby. Also referred to as a "wallscape" or a "large display banner."

**Swinger Sign:** a sign which ordinarily swings freely from a frame or similar device, located on the ground, but not otherwise attached to the ground, and which is usually two-sided.

**Temporary sign:** A sign constructed of cloth, canvas, light fabric, cardboard, wood, wallboard, metal, or other light materials, with or without frames, which is intended to be displayed for a limited period of time only.

**Tenant Space:** That portion of a façade attached to interior space that is occupied by one occupant that has a ground floor entry that provides public or customer access to the occupant. An "occupant" includes one tenant, owner or business.

**Transition:** A visual effect used on an Electronic Message Display to change from one message to another.

**Transom:** A horizontal element framed across a window.

**Travel:** A mode of message transition on an Electronic Message Display where the message appears to move horizontally across the display surface.

**Under Canopy Sign:** A sign suspended from the underside of a canopy, awning, ceiling, marquee, roof overhang, a covered porch, or walkway.





**Used:** Designed or intended to be used.

**Wall Sign:** An attached accessory sign painted on or attached to the wall or surface of a building or display surface which is parallel to the supporting surface. A sign attached to a wall or fence located on the boundary of a parcel shall be regulated as a ground sign.

**Warning Sign:** Any temporary or permanent sign used for warning or informing the public of any hazardous, dangerous or unsafe condition at any public or private property.

**Wind Sign:** An attention-getting device with or without copy, or a series of devices such as streamers, balloons, feather signs, and pennants with or without copy, fastened in such a manner as to move in the wind.

**Window:** An opening constructed in a wall and which admits light or air to an enclosure, is framed and spanned with glass, and which may be mounted to permit opening and closing.

**Window sign:** A sign attached or painted on the surface of, located on the interior of, or flashing through a window.

- C. **Acronyms.** The following acronyms have the following meanings for purposes of this Title, unless the context clearly indicates otherwise:

Table 16118.15 Acronyms	
' or ft	feet
fc	Footcandle
If	Lineal feet of frontage
EMD	Electronic Message Display
Max.	Maximum; indicates that the value prescribed is the maximum allowed
Min.	Minimum; indicates that the value prescribed is the minimum required
n/a	not applicable
O.S.	Oklahoma Statutes
sf	Square feet
PUD	Planned Unit Development
SPUD	Simplified Planned Unit Development
USC	United States Code