



ENGINEERING TOWN HALL

Public Works - Technical Review and Regulation - May 2, 2024

MEET THE TEAM

Civil Review



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MEET THE TEAM

Permit Review



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A CLOSER LOOK AT

WHAT'S NEW IN TECHNICAL REVIEW

Public Works Director Announced



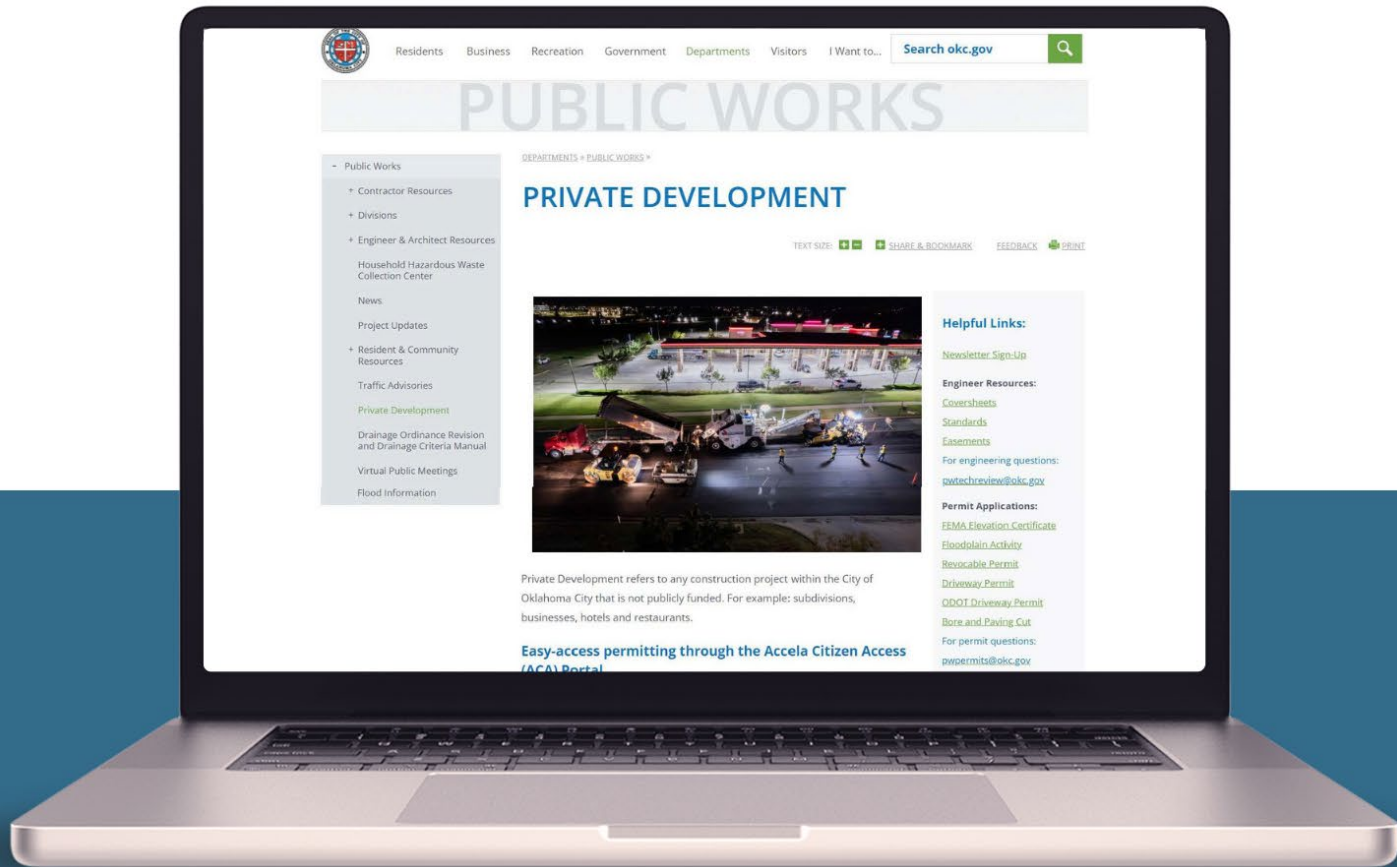
City Manager Craig Freeman announced the hiring of Assistant City Engineer Debbie Miller, P.E. as the City's new Public Works Director/City Engineer.

Miller oversees 400 employees who work in Public Works Department's seven divisions: Administration, Project Management, Streets and Drainage Maintenance, Field Services, Storm Water Quality, Traffic Services and Engineering.

Miller is making history as the first female Public Works Director/City Engineer in Oklahoma City.

Website Relaunch

LIVE NOW!



Quarterly Newsletter

Sign up for our quarterly newsletter where we provide updates to the developmental community and answer frequently asked questions, along with highlighting upcoming events.

Vol. 1

Private Development NEWSLETTER

MEET THE TEAM

NEW HIGHLIGHTS

- The third Wednesday of each month is now available for meetings. Email pwtechreview@okc.gov to schedule.
- Paving standards were updated September 2023. View the new standards [HERE](#).
- Private Development coversheets were updated October 2023. Download the new coversheet [HERE](#).
- NEW FEATURE** - The status of your plan review submittal can now be checked on the [WEBSITE](#) queue at the bottom of the webpage. Tables are updated daily, but not immediately after plan submittal.

SATISFACTION SURVEY RESULTS

In October 2023 the Public Works Private Development Technical Review and Regulation team sent surveys to developers, engineering consultants, and contractors to gauge overall satisfaction levels with the City's technical review operations. The survey determined several key areas the team wants to focus on improving including:

- Review times - reduce the amount of time reviews take
- Improve response times and communication
- Offer meeting opportunities, seminars
- App drainage criteria manual
- For improvement requested was team developed a goal to work on response time, give more person meetings and improve the communication is communicated.

OKC.GOV/PW

Plan Review Queue Placement

To check the status of your plan review, please check the tables below:

CHECKPOINT REVIEWS

Date Received	Project Number	Project Name	Status
02/21/2024	DD 2024 00001	Crystal Hill Estates Section 1	In Review
02/26/2024	DP 5673	Spin City	In Queue
03/14/2024	PD 2024 00018	OnCue 141, 1305 N. Western	In Review
03/15/2024	PD 2024 00005	Winds Gate Phase 3	On Deck
03/21/2024	PD 2024 00020	South Park Alley	Review Complete
03/25/2024	DP 5165	Lincoln Industrial Park	On Deck
03/25/2024	PD 2024 00022	Antler Creek Phase 1	In Queue
03/26/2024	PD 2023 00045	CNP West Elementary	Review Complete
03/27/2024	DP 5680	Country Colonnade VI	In Review
03/27/2024	PD 2024 00023	Country Colonnade Phase VI	On Deck
04/01/2024	DP 5536	5700 S May Commercial	In Queue
04/02/2024	DP 5285	44th & County Line Rd.	In Queue
04/02/2024	DP 5663	Joe Cooper Ford Edmond	In Queue
04/03/2024	DP 5604	Rose Valley Phase 1	In Queue

FINAL PLANS & CHANGE ORDER REVIEWS

Date Received	Project Number	Project Name	Status
12/06/2023	PD 3115	The Tributary	In Review
01/25/2024	PD 2023 00057	Huntington Ridge Phase 2	In Review
02/09/2024	DP 5630	Reserve @ Mustang Creek	In Review
02/09/2024	PD 2023 00070	Reserve @ Mustang Creek	In Review
02/13/2024	PD 2023 00044	Cypress Forest	In Review
02/21/2024	DP 5633	Magnolia Ridge Section 1	In Queue
03/07/2024	DP 5533	Avalon	In Review
03/07/2024	PD 2023 00029	Avalon	In Review
03/08/2024	PD 2023 00058	Tuscany Lakes Phase 4	City Engineer Approved
03/15/2024	PD 2023 00065	Scissortail Crossing Phase 2	Review Complete
03/20/2024	PD 3110	OAK OKC Development Phase 2	In Review
03/22/2024	DP 5667	OnCue 141, 1305 N. Western	In Review
03/25/2024	DP 4687P	Print Finishing Systems	In Review

Queue Placement

The Private Development Section now offers a live queue log of all civil plans that are routed for review.

Meeting Scheduling Made Easy

In an effort to promote effective communication between our review staff and the development community; we have created a meeting request form that allows you to provide preferred availability and special requests. Once received, staff should be in contact you to schedule within two business days.



Scan the QR code to schedule
a meeting with review staff.

Permit Fee Study Update



The City of Oklahoma City contracted MGT Consultants to complete a comprehensive review of miscellaneous fees collected. MGT Consultants submitted their fee study recommendations back to the City and recommended several fee adjustments. These items are anticipated to be presented and approved by City Council for approval this May.

Storm Water Quality Permits

Fee Update

	Through 6/30/2024	Effective 7/1/2024	Effective 7/1/2025
New Facility			
• Administrative Review	\$55	\$88.75	\$100
Existing Facility			
• Administrative Review	\$55	\$88.75	\$100
Land Disturbance			
• Administrative Review	\$55	\$88.75	\$100
Late Fee			
• Each month permit is out of compliance	\$15	\$15	\$15
Inspection			
• Reinspection Fee	\$35	\$88.75	\$100

Right-of-Way Permits

Fee Update

	Through 6/30/2024	Effective 7/1/2024	Effective 7/1/2025
Paving Cut			
• Each opening (up to 1 Sq yard)	\$70.50	\$167.63	\$200
Curb Cut and Replace			
• permit application (first 44 ft.)	\$51.00	\$106.50	\$125
• Each linear foot over 44 feet	\$0.36	\$0.84	\$1.00
Driveway and Sidewalk			
• permit application (first 44 ft.)	\$51.00	\$106.50	\$125
• Each linear foot over 44 feet	\$0.36	\$0.84	\$1.00
Boring			
• permit application (first 36 ft.)	\$140.50	\$162.63	\$170.00
• Each linear foot over 36 feet	\$7.50	\$7.50	\$7.50
• Every inch over 14 inches (pipe diameter)	\$10.50	\$10.50	\$10.50

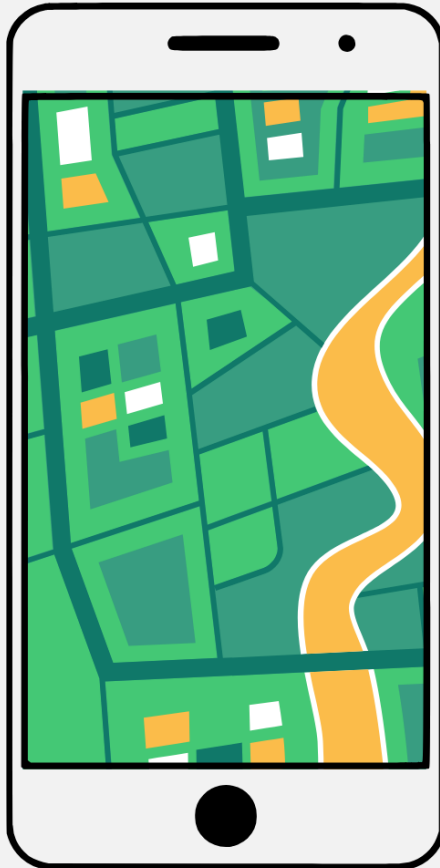
Private Development Permits

Fee Update

	Through 6/30/2024	Effective 7/1/2024	Effective 7/1/2025
Revocable:			
• Administrative fee	\$50	\$75	\$100
• For pipeline projects (per rod)	\$26	\$81.50	\$100
Revocable - Bus Stop Bench:			
• Application (per location)	\$75	\$93.75	\$100
• Renewal (per location)	\$14	\$78.50	\$100
Floodplain Activity:			
• Administrative fee	\$55	\$75	\$100
Tap-In			
• Storm sewer	\$62	\$75	\$100
• Sanitary sewer	\$117	\$117	\$117
• Connection to sanitary sewer outside of City limits	\$344	\$344	\$344

Private Development Inspections

<i>Fee Update</i>		Through 6/30/2024	Effective 7/1/2024	Effective 7/1/2025
Detention Pond				
• Per trip			\$93.75	\$125
Driveway Reinspection				
• Per trip		\$42	\$66.50	\$75
Overtime Fee (Nights & Weekends)				
• Per call in request		\$374	\$468.50	\$500
Engineering Inspections (Work Order)				
Fees assessed according to Oklahoma City Code of Ordinances, Chapter 60, Title 2, Article IV, § 60-2-19.				
• Contract amount \$0 - \$2,000			Inspection fee of 6.9%	
• Contract amount \$2,001 - \$5,000			Inspection fee of 6.3%	
• Contract amount \$5,001 - \$10,000			Inspection fee of 5.5%	
• Contract amount \$10,001 - \$25,000			Inspection fee of 4.9%	
• Contract amount \$25,001 - \$50,000			Inspection fee of 4.1%	
• Contract amount over \$50,000			Inspection fee of 3.5%	



NEW GIS MAP

COMING 2024

We have been hard at work behind the scenes to bring you an interactive data portal map of all private development projects (2020 - present). We anticipate this going live on our website fall of 2024.

A City wide interactive GIS Map for public use is slated to launch in 2025

Need to Know



UPDATED PAVING
STANDARDS

September 2023



UPDATED
COVERSHEETS

October 2023



DRAINAGE
ORDINANCE
UPDATE

January 2024



STANDARD SECTION
452 CLARIFICATION

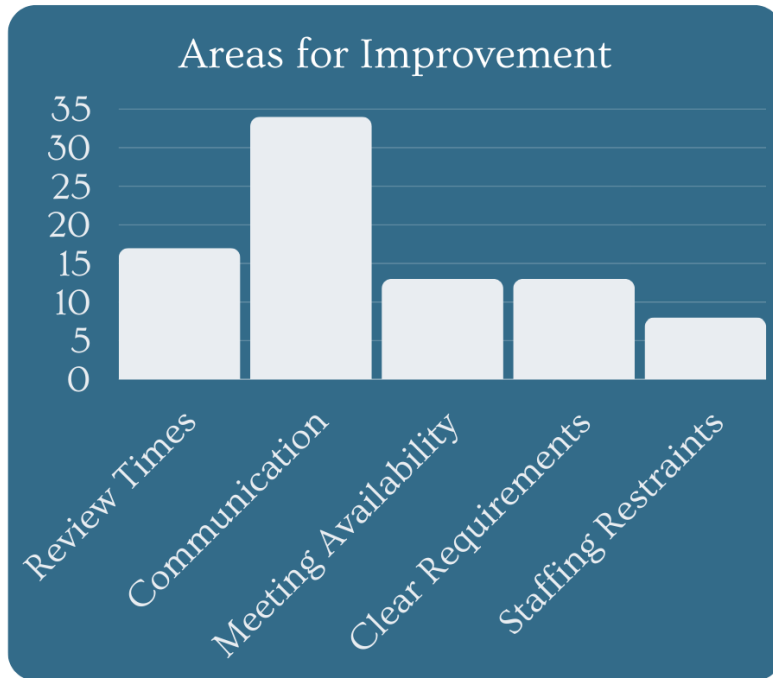
February 2024



A CLOSER LOOK AT

2023
SATISFACTION
SURVEY RESULTS

In October 2023 the Public Works Private Development Technical Review team sent surveys to developers, engineering consultants and contractors to gauge overall satisfaction levels with the City's technical review operations. The survey determined several key areas the team wants to focus on improving



SUMMARY

The number one area for improvement requested was communication. The team developed a goal to work toward reducing response time, give more opportunities for in-person meetings and improve the process for how information is communicated.

SURVEY RESPONSE

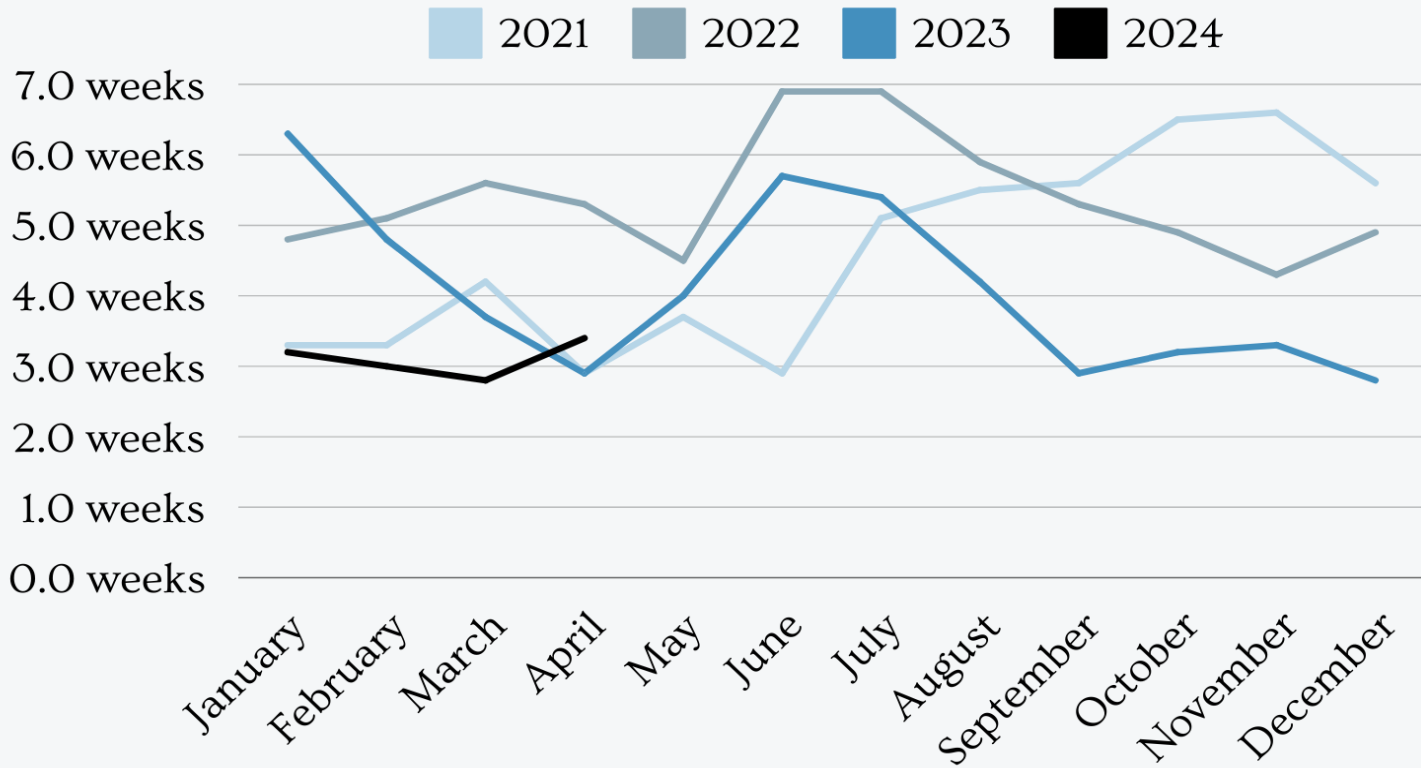
COMMUNICATION & TRANSPARENCY	<ul style="list-style-type: none">• Quarterly Newsletter• New email address (pwtechreview@okc.gov) for general questions and meeting requests• Data portal Map located on the PW Private Development website to show active projects and current status (In the Works)• PW Private Development website was reorganized to be a one stop shop for all private development needs, including all contact information• Live queue log to check plan review status• Additional notifications in the Accela workflow
REQUIREMENTS & GUIDELINES	<ul style="list-style-type: none">• Create a flow chart showing the progression of plans through tech review• Plan coversheets were updated in an attempt to standardize• “Guideline” handbook in process• Drainage Criteria Manual pending approval in 2024
MEETING AVAILABILITY	<ul style="list-style-type: none">• New email address for general questions and meeting requests• Staff has set aside the 3rd Wednesday of every month to be available for walk-in meetings<ul style="list-style-type: none">– Additional days will be added if necessary• Two Town Hall meetings will be set up for 2024 (May and October)
OUTREACH OPPORTUNITIES	<ul style="list-style-type: none">• Contractor Seminar – 2/15/2024• Two Town Hall meetings will be set up for 2024 (May and October)• Administrative workshop – June 2024• Interactive GIS map to be posted on PW Private Development website (in progress)



A CLOSER LOOK AT

LFR RESULTS

Average review time for check prints



2023



Plans Submitted

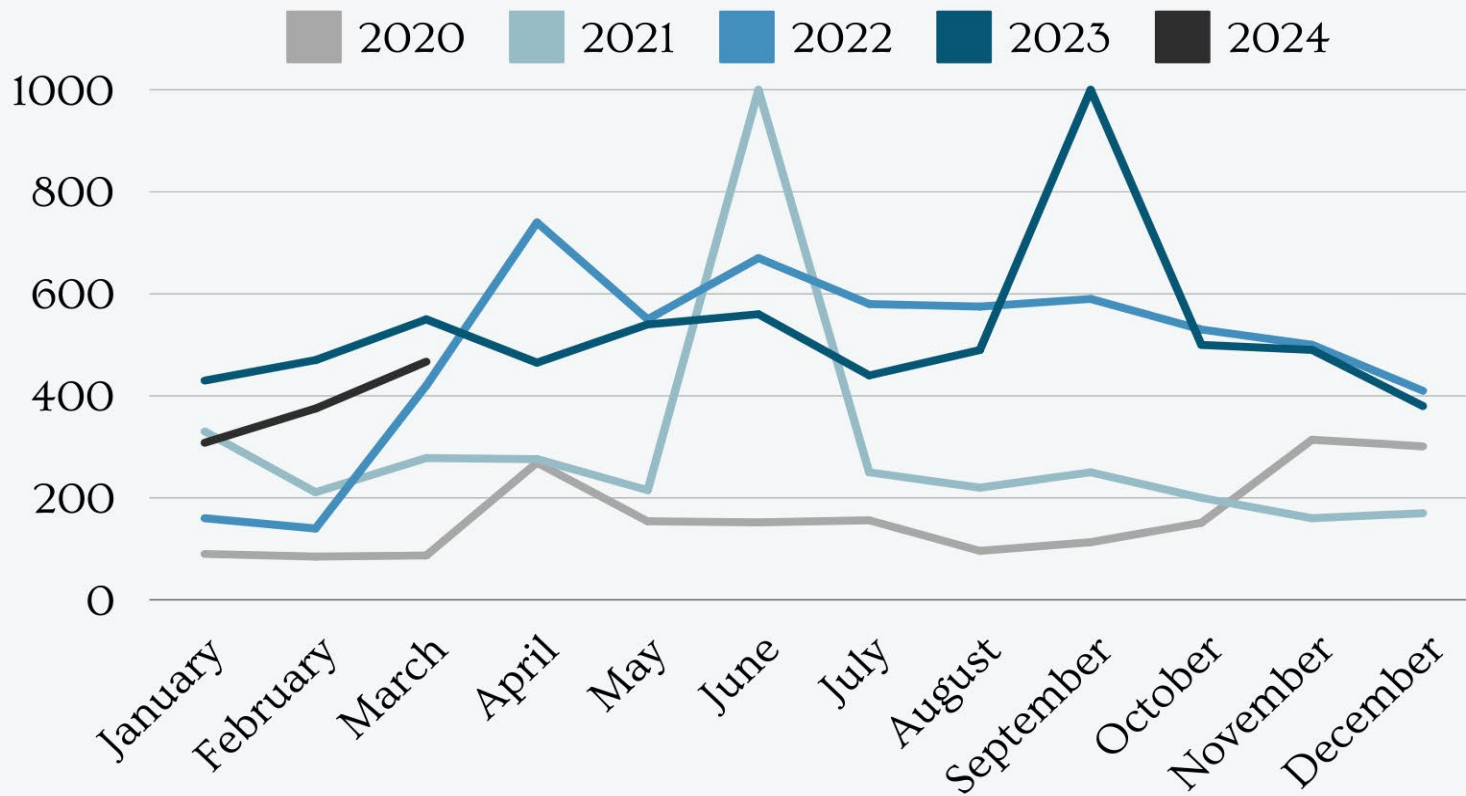


Work Orders Issued



Days for Plan Approval

Permits Submitted For Review



2023



ROWS- Permits



REVO- Permits



FPATS- Permits



A CLOSER LOOK AT

COMMERCIAL BUILDING PERMITS

BLDC- PROCESS

01



Meet

A pre-development meeting is encouraged for all projects, especially if you are new to OKC or have a complicated development proposal.

Contact:
PWtechreview@okc.gov to schedule a meeting.

02



Submit

Plans and permits are submitted for review through the Accela Citizen Portal. City staff receives and routes applications to the various departments for review.

03



Construct

After all associated permits and plans have been approved and issued, the licensed professional can start construction.

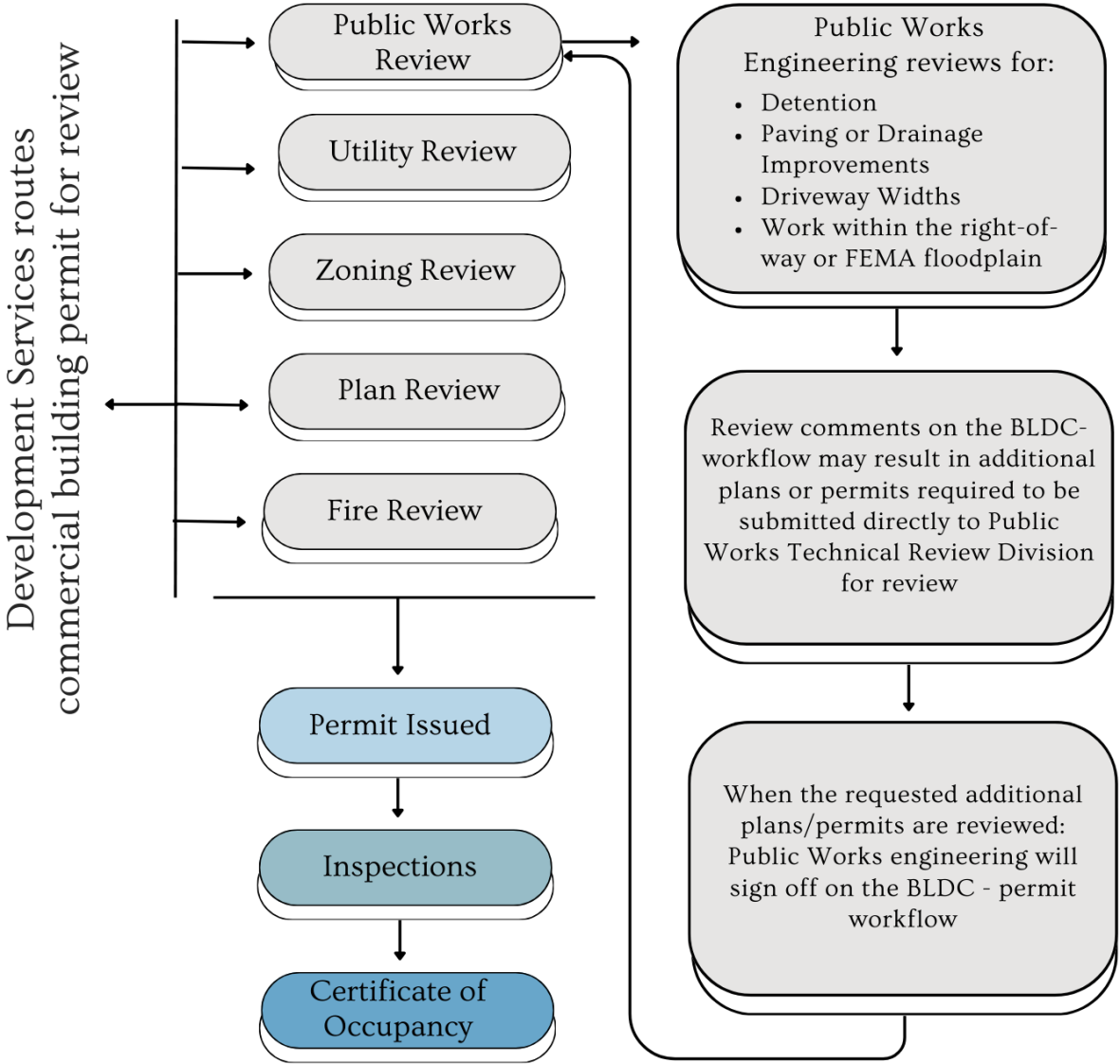
04



Inspect

Inspections are called in throughout the construction process. Once all inspections have passed, the certificate of occupancy is released.

THE BLDC-WORKFLOW





A CLOSER LOOK AT

PLAN REVIEW & SUBMITTAL PROCESS

CIVIL PLAN REVIEW

Pre-development

A pre-development meeting is encouraged for all projects, especially if you are new to Oklahoma City or have a complicated development proposal. The Design Engineer is responsible for obtaining and reviewing record drawings of all existing improvements and to verify information related to paving and underground utilities within, adjacent to, and associated to the project area.

Plan Submittal & Review

Civil plans are submitted through the [Accela Citizen Portal](#), where engineering staff will route for review. Plans are reviewed in the order submitted, initial review times will typically take up to 30 business days. Depending on complexity of project and/or case loads, additional time may be needed for review. The applicant will be notified electronically via email when review is complete. Once all of the engineering comments have been appropriately addressed and the plans are deemed complete, City Staff will prepare for City Engineer approval. The applicant will then be able to download the approved drawings from the ACA portal. The engineer is responsible for supplying the hard copies of approved plans necessary for contractors, sub-contractors, construction inspectors.

Construction & Inspections

Once plans are approved and all permits have been issued, the prequalified contractor can submit the work order documents and inspection fees to engineering staff. The engineering staff will review and route for City Engineer approval. Once the work order is approved and issued, the signed work order is uploaded to the ACA portal and sent to field services with the printed plans. The onsite inspector will monitor site progress and assist with issues. Once construction is complete, close out documents will be sent out and certificate of Occupancy can be released.

Plan Submittal and Review

Pre-development

We strongly encourage scheduling a meeting with staff prior to submittal.

Technical Review & Coordination

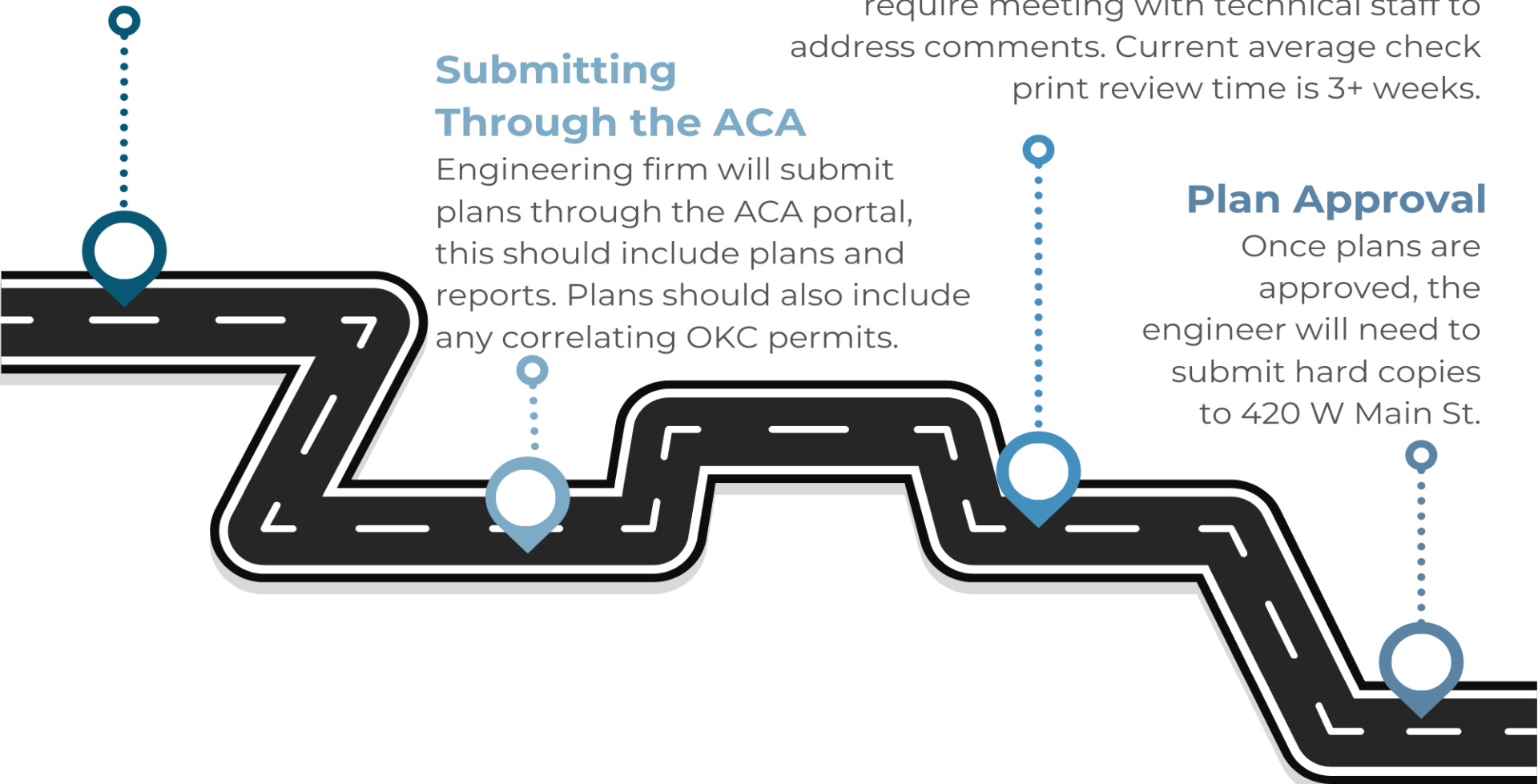
Notifications are sent via email for receipt and status updates. Plans CP #3 or higher require meeting with technical staff to address comments. Current average check print review time is 3+ weeks.

Submitting Through the ACA

Engineering firm will submit plans through the ACA portal, this should include plans and reports. Plans should also include any correlating OKC permits.

Plan Approval

Once plans are approved, the engineer will need to submit hard copies to 420 W Main St.



PV- PLANS

Beginning September 1, 2022, Public Works no longer reviews, but only receives private drainage and paving plans which expedites the permitting process.

The work order will only be released to an approved contractor and included on Public Work's list of prequalified contractors. Must be licensed in storm sewer, Class A or Class B.

SUMMARY OF PRIVATE QUANTITIES				
ITEM #	ITEM	UNIT	QUANTITY	AS-BUILT
1	STD. DES. 2.3 CURB PAVET	EA	1	
2	24" HP PIPE	LF	66	
3	CRUSHED ROCK BEDDING	LF	20	
4	REMOVE EXIST. STORM STRUCTURES	EA	2	
5	REMOVE EXIST. STORM PIPE	LF	212	

EROSION CONTROL QUANTITIES (PRIVATE)				
NO	ITEM	UNIT	QTY	
GRADING CONTRACTOR				
1.	CONSTRUCTION ENTRANCE	EA	1	
2.	SILT FENCE	LF	2308	
PAVING CONTRACTOR				
1.	POOR BAG PLUME / CURB INLET BARRIER	EA	2	
2.	SEED ALL DISTURBED AREAS	LS	1	
3.	CONCRETE WASH-OUT	EA	1	

Beginning September 1, 2022, Public Works will no longer review, but will only receive private drainage plans which will expedite the permitting process. Private drainage plans submitted to Public Works will not be reviewed and will only be stamped as received by the City. Public Works Field Services inspectors will continue to inspect these projects utilizing the plans provided. The Engineer of Record will be responsible for the accuracy and appropriateness of the design, information provided in the documents, and plans. Receipt by the City will not release or waive the representations or warranties of the Engineer of Record.

Please note that a work order is still required before any field construction. The engineer is still responsible for supplying hard copy plans (two full-size 24X36 and one half-size 11X17) to 420 W. Main Street before the work order is released. The Public Works City "Engineer Liability" stamp must be on all submitted hard copy plans.

PRIVATE PAVING & DRAINAGE PLAN


TO SERVE

PROJECT PV-2024-00011

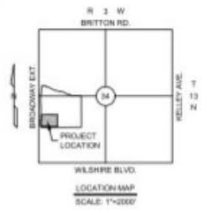
ANDRETTI

BEING A PART OF THE SW/4, SEC. 34, T13N, R3W, I.M.

AN ADDITION TO THE CITY OF OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA



The City of
OKLAHOMA CITY
Public Works Department



WILDFIRE BLVD.
LOCATION MAP
SCALE: 1"=200'

GENERAL NOTES

- THE DESIGNER OR RECORD REPRESENTATIVE WARRANTS THE ACCURACY AND APPROPRIATENESS OF THE DESIGN AND THE INFORMATION CONTAINED HEREIN AS SUPPLIED, WITH PROFESSIONAL ENGINEERING STANDARDS, INCLUDING THE REQUIREMENTS AND APPLICABLE LAWS, RECEIPT OF THIS DOCUMENT BY THE CITY OF OKLAHOMA CITY DOES NOT RELEASE OR WAIVE THE DESIGNER OR RECORD REPRESENTATIVE FROM LIABILITY FOR NEGLIGENCE, WHETHER CAUSED BY THE DESIGNER OR RECORD REPRESENTATIVE OR BY A THIRD PARTY CONTRACTOR WHO HAS ACCEPTED THE REPRESENTATION OF THE DESIGNER AND ENGINEER.
- ALL CONTRACTORS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE OKLAHOMA CITY STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS, AND SHALL BE UNDER THE SUPERVISION OF THE PUBLIC WORKS DEPARTMENT.
- ANY CONSTRUCTION ITEMS THAT ARE NOT LISTED IN THE SUMMARY OF QUANTITIES SHALL BE CONSIDERED NECESSARY CONSTRUCTION ITEMS. THE COST OF INCIDENTAL ITEMS SHALL BE INCLUDED IN THE COST OF OTHER ITEMS.
- PERMITS AND BONDS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS OWN RISK AND AT HIS OWN EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS FROM THE CITY OF OKLAHOMA CITY AND THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING WITH ALL PUBLIC OR PRIVATE UTILITY COMPANIES IN THE AREA OF CONSTRUCTION.
- ALL TREE CUTTING TO BE DONE IN ACCORDANCE WITH THE OKLAHOMA CITY TREE PRESERVATION AND REMOVAL ACT (24 O.S. 2-1-1) AND THE OKLAHOMA CITY TREE PRESERVATION AND REMOVAL ORDINANCE (24 O.S. 2-1-1). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS FROM THE CITY OF OKLAHOMA CITY AND THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS FROM THE CITY OF OKLAHOMA CITY AND THE PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR ENGINEERS IMMEDIATELY OF ANY DISCREPANCIES OR CHANGES TO THE DESIGN OR INFORMATION PROVIDED TO THE CONTRACTOR.

EROSION CONTROL NOTES

- ALL LAND DISTURBING ACTIVITIES UNDER THE JURISDICTION OF THE OKLAHOMA CITY PERMITS MUST OBTAIN A LAND DISTURBING ACTIVITY PERMIT FROM THE CITY OF OKLAHOMA CITY BEFORE ANY CONSTRUCTION BEGINS. ADDITIONAL CONSTRUCTION ACTIVITIES MAY REQUIRE A LAND DISTURBING ACTIVITY PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS FROM THE CITY OF OKLAHOMA CITY AND THE PUBLIC WORKS DEPARTMENT.
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ONE CALL UTILITY LOCATION NUMBER


(405) 840-5032
1-800-522-6543

This number is to be used for information on the location of all underground utilities. Contact the number and other numbers specified in the plans prior to any excavation.

PREPARED BY:

Johnson & Associates
1100 Broadway Ave., Suite 200
Oklahoma City, OK 73104
Professional Engineer - License No. 10000
Professional Engineer - License No. 10000

REGISTERED PROFESSIONAL ENGINEER
DATE: 2/1/2024



THE ENGINEER OF RECORD REPRESENTS AND WARRANTS THE ACCURACY AND APPROPRIATENESS OF THE DESIGN, AND THAT THE INFORMATION CONTAINED HEREIN IS IN COMPLIANCE WITH PROFESSIONAL ENGINEERING STANDARDS, OKLAHOMA CITY REQUIREMENTS, AND APPLICABLE LAWS. RECEIPT OF THIS DOCUMENT BY THE CITY OF OKLAHOMA CITY DOES NOT RELEASE OR WAIVE THE ENGINEER OF RECORD ANY RESPONSIBILITIES, REPRESENTATIONS, OR WARRANTIES.

RECEIVED
2/1/2024
PUBLIC WORKS
ENGINEERING

CONSTRUCTION MUST BEGIN WITHIN ONE (1) YEAR FROM THE DATE OF APPROVAL OR THAT APPROVAL WILL BE WITHDRAWN.

FINAL PLANS

RECEIVED BY: **Harriet Adams** DATE: 4/9/2024
PUBLIC WORKS TECHNICAL REVIEW



A CLOSER LOOK AT

**WORK ORDER &
INSPECTION PROCESS**

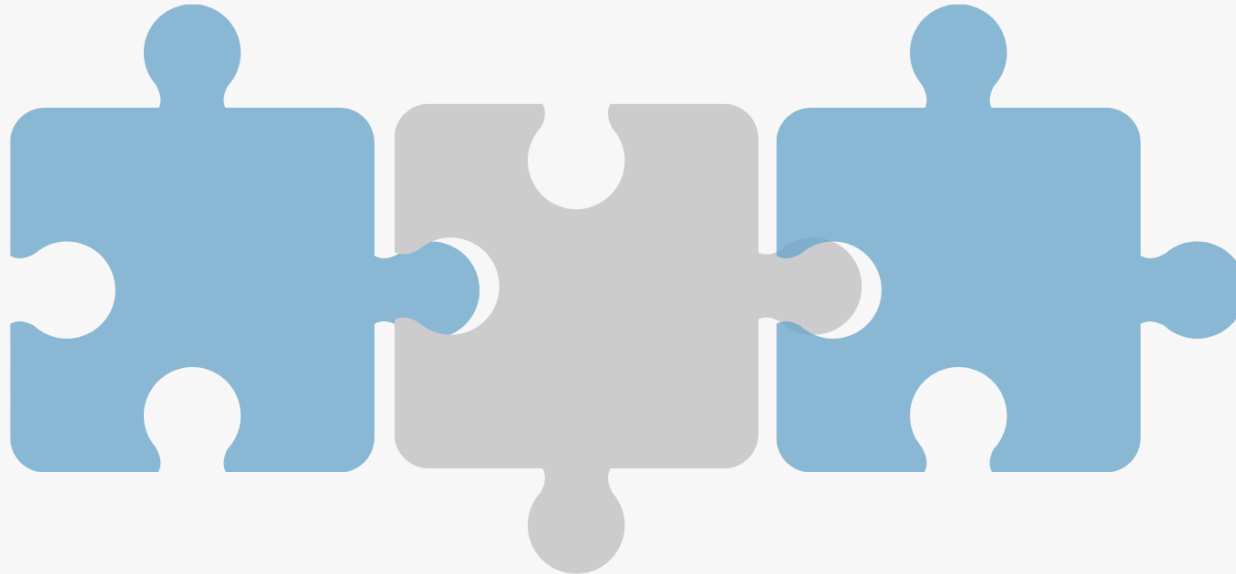
Engineer Check List

Plan Approval

PD- and DD- plans require City engineer's signature. PV- plans must have the "received" stamp

Geotechnical Report

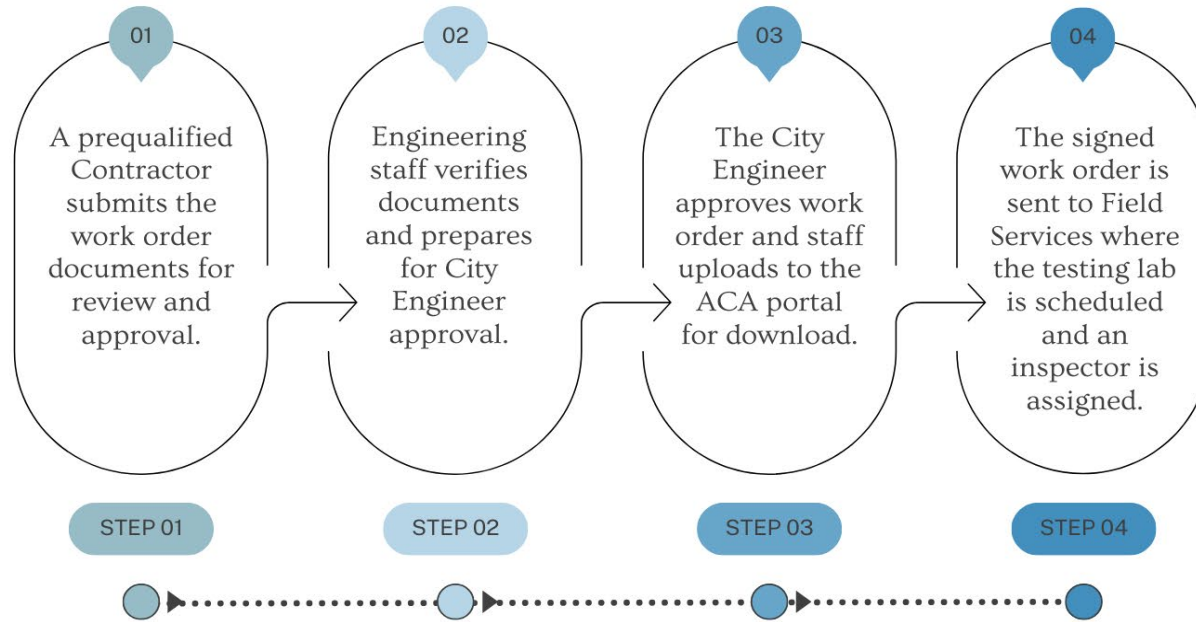
Plans with stabilization shown, will require a soil stabilization report to be submitted and reviewed.



Hard Copies of plans

2 full-size (24X36) and 1 half-size (11X17) are required to be submitted.

Work Order Process



Work Order Requirements

Private Plans

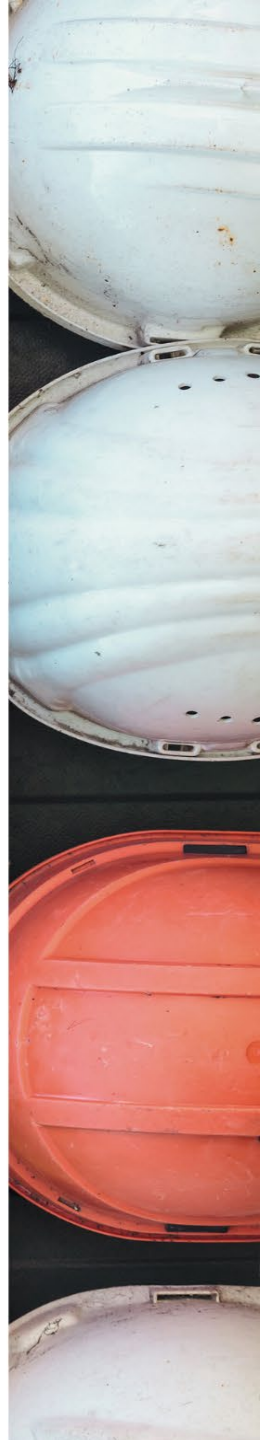
- Summary of Quantities
- Testing Lab
- Certificate of Insurance
- Notary Statement
- Mix Designs
- Inspection Fees

Public Plans

- Summary of Quantities
- Testing Lab
- Maintenance Bond
- Power of Attorney
- Certificate of Insurance
- Notary Statement
- Mix Designs
- Inspection Fees

Public & Private Plans

- Summary of Quantities
- Testing Lab
- Maintenance Bond - for public quantities
- Power of Attorney
- Certificate of Insurance
- Notary Statement
- Mix Designs
- Inspection Fees



Inspection Process

Work Order Received

1

- The Project is entered into inspection system and a Field Services inspector is assigned.
 - The Testing schedule is made by staff and the Contractor packet prepared for pick up.
-

In Construction

2

- The inspector is onsite and is to be notified of work activity and testing.
 - As the construction wraps up, the onsite inspector will provide a
 - Pre-final punch list.
-

Final Inspection

3

- Once the pre-final punch list is complete, the chief inspector schedules a final walk through with the contractor and engineering firm.
 - Based on the final inspection, an additional punch list may be required if issues persist.
 - Final inspection and close out documents are completed and sent to City staff to record and procede with certificate of occupancy.
-

Maintenance Bond Final Inspection

4

- Maintenance bond inspections are performed 2-3 months before bond expiration, this checks for poor workmanship and deficient materials.
- Deficient materials must be corrected prior to the bond expiration.



Get in Touch



In Person

3738 SW 15th St. OKC, OK.



By Phone

Front desk (405) 297-2401



By Email

ROW Chief - Chris.cox@okc.gov

Water Chief- Troy.atkinson@okc.gov

North Side Chief - Jason.pratt@okc.gov

South Side Chief - Ron.newman@okc.gov

Assistant Superintendent - Scott.hodgden@okc.gov

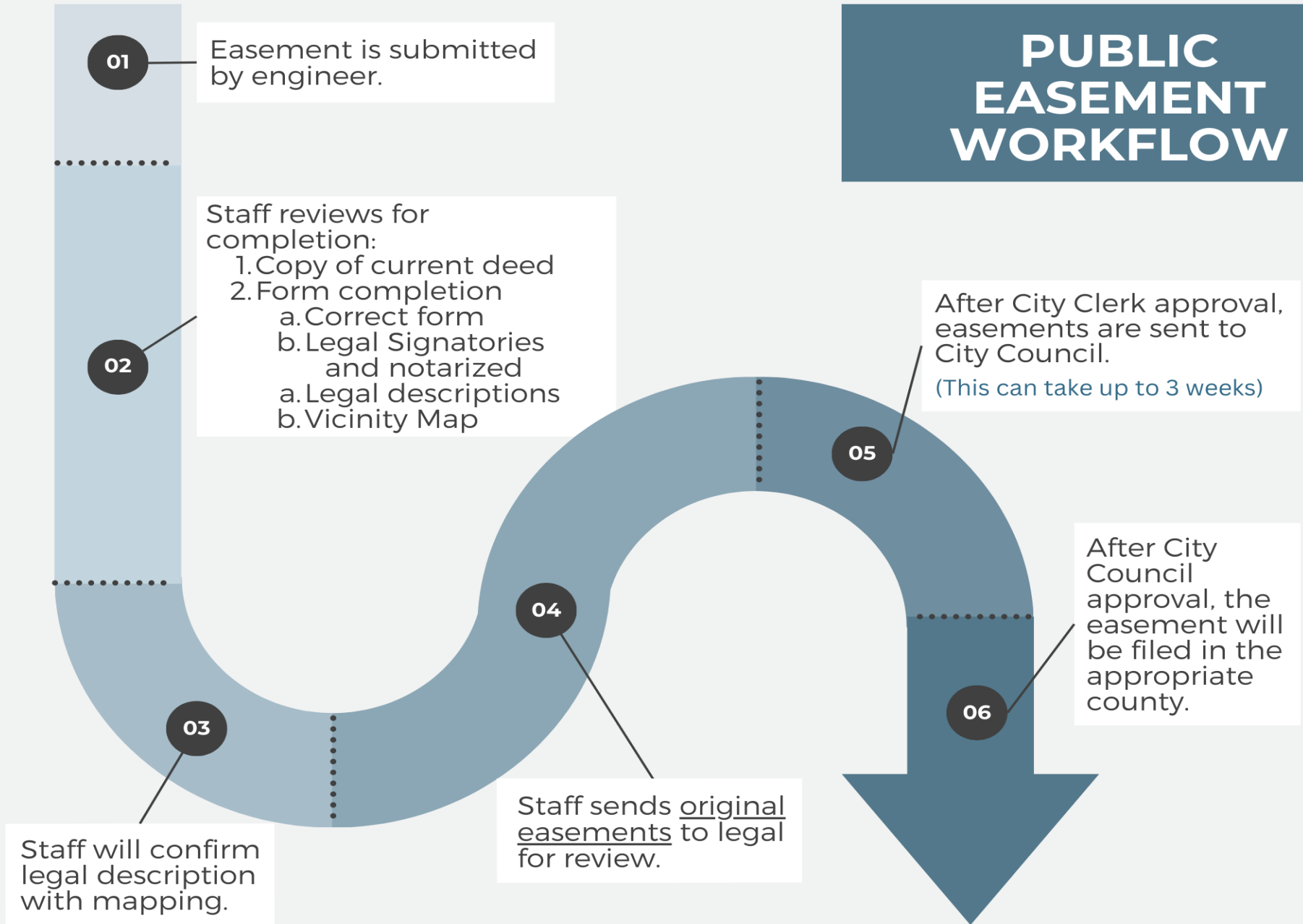
Superintendent - Dainiel.witthuhn@okc.gov



A CLOSER LOOK AT

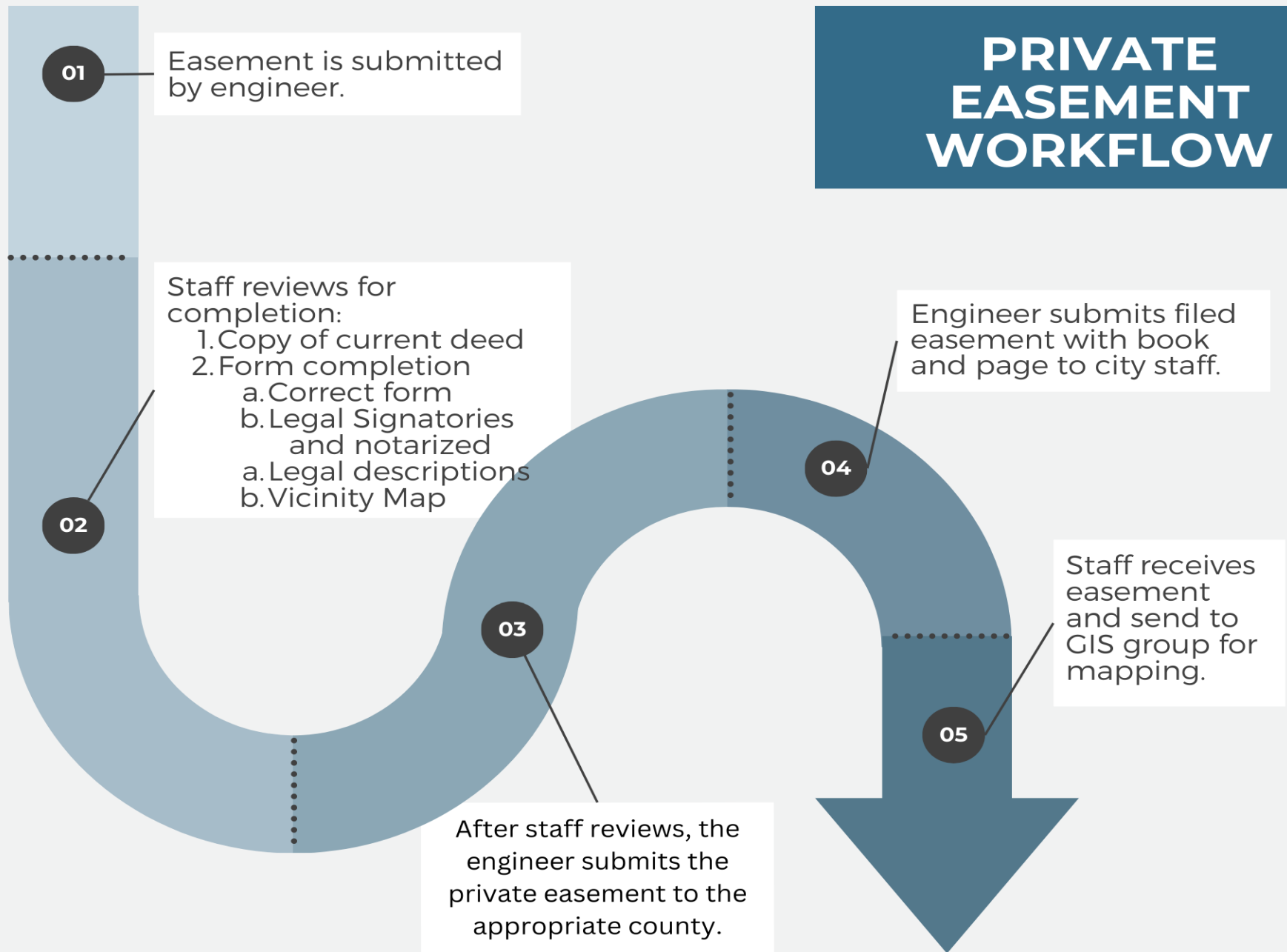
EASEMENTS

PUBLIC EASEMENT WORKFLOW



Work Orders are held until easement requirements are complete.

PRIVATE EASEMENT WORKFLOW



Work Orders are held until easement requirements are complete.

Authorized Legal Signatories

Limited Liability Corporation (LLC)

Manager, General Manager, or
General Partner

Limited Partnership (LP)

General Partner

Trust

Trustee-May be more than one
trustee from the deed.

Corporation (Corp.)

President

Incorporation (INC.)

President

Church

President-if the Church is a board or a
non-for-profit-organization
Trustee- if the church is set up as Trust

School Boards

Superintendent

Company (Co.)

President

Include Easement Detail

EXHIBIT "A"

PARCEL NO. 2
PC-0375

SW/4 OF THE SE/4 OF
SEC. 28, T-13-N, R-4-W

Label Document with this information

Reference P.O.B.

Tie to section or quarter corner

PARCEL 2

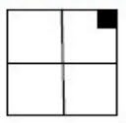
PART OF SE4
SEC. 28, T13N, R4W

Professional Engineer or Surveyor Stamp and signature



EXAMPLE

Provide Location Map, indicating street names and section number



Include Legal Description

Include Date, Project Location & #, Parcel #, Easement Type and Exhibit

LEGAL DESCRIPTION FOR PARCEL #2

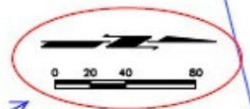
Exhibit "A"

A strip, piece or parcel of land lying in part of the SE ¼ of Section 28, T-13-N, R-4-W 1/4, in Oklahoma County, Oklahoma. Said parcel of land being described by metes and bounds as follows:

The North 17.00 feet of the South 50.00 feet of the East 250.13 feet of the West 918.92 feet of said SE ¼.

Containing 0.10 acres more or less of new right of way.

Include N indicator and Scale



FILENAME: EXHIBIT_RIGHTOFWAY.dwg
 DATE: 02/01/2011
 BRITTON RD BETWEEN ROCKWELL & McARTHUR ROADWAY & UTILITY EASEMENT
Parcel 2P
EXHIBIT "A"
 PROJECT NO. PC-0375



A CLOSER LOOK AT

PRIVATE DEVELOPMENT PERMITS

Floodplain Activity Permits

Required when the proposed development is within 200LF of any FEMA floodplain.



Application No: _____
Building Permit No: _____

CITY OF OKLAHOMA CITY FLOODPLAIN ACTIVITY PERMIT APPLICATION

The undersigned hereby makes application for a permit to develop in a designated floodplain area. The work to be performed is described below and in the attachments hereto. The undersigned agrees that all such work shall be done in accordance with the requirements of the City of Oklahoma City Floodplain Ordinance and with all other applicable local, State and Federal regulations. This application does not create liability on the part of the City of Oklahoma City or any officer or employee thereof for any flood damage that results from reliance in this application or any administrative decision made lawfully thereunder.

A. APPLICANT INFORMATION

Name of Owner: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Telephone Number: _____ Email: _____
Property Address: _____
Applicant/ Representative: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Telephone Number: _____ Email: _____

B. DESCRIPTION OF WORK

- The reason for the floodplain development is:
 - New Structure
 - Expansion/ Addition
 - Other: _____
 - Manufactured Home
 - Subdivision (Block _____ Lot _____)
 - Importing/ Placing Fill
- Is the proposed development in a Special Flood Hazard Area (Zones A, AE, A1-A30, AH or AO)?
 - Yes
 - No

Provide Floodplain Information:
Flood Zone: _____ Base Flood Elevation: _____ Datum: _____
FIRM Panel Number: _____ Map Effective Date: _____
Community Number: _____
- Are other Federal, State or local permits obtained?
 - Yes
 - No

Type: _____
- Is the proposed development in an identified floodway?
 - Yes
 - No
- If Yes to No. 4 above, is a "No Rise Certification" with supporting data attached?
 - Yes
 - No

C. COMPLETE FOR NEW STRUCTURES AND BUILDINGS SITES

- Estimated cost of the proposed structure? \$ _____
- Required lowest floor elevation, including basement (BFE + 1 foot): _____ Datum: _____
- Elevation to which all attendant utilities, including heating and electrical equipment will be protected from flood damage: _____ Datum: _____

D. COMPLETE FOR ADDITION OR IMPROVEMENTS TO EXISTING STRUCTURES

- What is the estimated market value of the existing structure? \$ _____
- What is the cost of the proposed construction? \$ _____
- If the cost of the proposed construction, plus the cost of any prior construction done over the last 10 years equals or exceeds 25% of the market value of the structure, then the substantial improvement provision shall apply.

E. COMPLETE FOR NON-RESIDENTIAL FLOODPROOFED CONSTRUCTION

- Type of floodproofing method: _____
- The required floodproofing elevation is: _____ Datum: _____
- Floodproofing certificate by a registered engineer is attached? Yes No

F. COMPLETE FOR SUBDIVISION AND PLANNED UNIT DEVELOPMENTS

- Will the subdivision or other development contain 50 lots or 5 acres? Yes No
- If yes, does the plat or proposal clearly identify base flood elevations? Yes No
- Are the 100 year Floodplain and Floodway delineated on the site plan? Yes No

G. COMPLETED BY APPLICANT

Print name: _____
Signature: _____ Date: _____

OFFICIAL USE ONLY

Application No: _____ Fee: _____ Date: _____
FEMA Elevation Certificate Provided: Pre-Construction Post-Construction
As-Built lowest floor elevation: _____ Datum: _____
Approved: _____ Date: _____
Denied: _____ Date: _____
Remarks: _____

- Applications at OKC.gov
- Submittals must include application and construction drawings
- Anyone can apply
- Permit fees are \$55
- These are not inspected after permit issuance.

Boring & Paving Cut Permits

Required for boring under streets, alleyways, sidewalks, or concrete channels. Paving cuts are required when cutting the pavement on streets, sidewalks, and alleyways for utility repairs.



- Applications found at OKC.gov
- Submittals must include application and construction drawings
- Permit only issued to a prequalified contractor Must have a minimum Class D
- Permit fees vary - based on total length
- Issued permit must be kept on site
- Paving Cuts are inspected once construction is complete. Schedule an inspection (405) 297-3571



THE CITY OF OKLAHOMA CITY
Public Works Department
PERMIT-20 _____

BORING AND PAVING CUT PERMIT

This Permit made and entered into this on _____ by and between THE CITY OF OKLAHOMA CITY, ("City") and _____, ("Permittee").

WHEREAS, the Permittee desires to perform a BORE _____ (diameter/length) and/or PAVING CUT _____ (square yards) work within, over, under, or on a portion of the public way or easement, or City-owned property at _____ located in Oklahoma City, Oklahoma.

NOW THEREFORE, in consideration of the covenants and agreements hereinafter set forth, it is mutually agreed by the parties hereto as follows:

1. City hereby issues the Permittee a Permit for the purpose of performing BORING and/or PAVING CUT work within, over, under, or on a portion of the public way, easement, or City-owned property at the above address in accordance with the Permittee's application and approved plans and specifications incorporated herein.
2. Permittee acknowledges and agrees that Permittee's application, plans, and specifications accurately represent the purpose of the BORING and/or PAVING CUT work within, over, under, or on a portion of the public way, easement, or City-owned property at the above address.
3. Permittee agrees that this Permit is subject to the following conditions and agrees to obtain the following permits:

4. Permittee agrees to perform BORING and/or PAVING CUT work in a safe and proper manner, with an attractive appearance. Permittee further agrees and understands that Permittee acts at its own risk performing the BORING and/or PAVING CUT work within, over, under, or upon the City's public way, easement, or City-owned property.
5. Permittee agrees that all BORING and/or PAVING CUT work performed in the public way, easement, or City-owned property will be in accordance with City ordinances, standard specifications, and the City Engineer's required processes.
6. Permittee agrees to cover openings with steel plates when not working at the site and provide all safety fencing, barricades, and traffic control as requested.
7. Permittee shall be responsible for locating, pot holing, if necessary, and protecting all existing utilities and other improvements within the public way, easement, or City-owned property. Contact OKIE at (405) 840-5032 to locate utility improvements. City Utilities contacts are the following: Water and Sewer Lines, Utilities Department Emergency Dispatch Office at (405) 297-3334; Storm Drainage, Public Works Department at (405) 297-2581.

Driveway & Sidewalk Permits

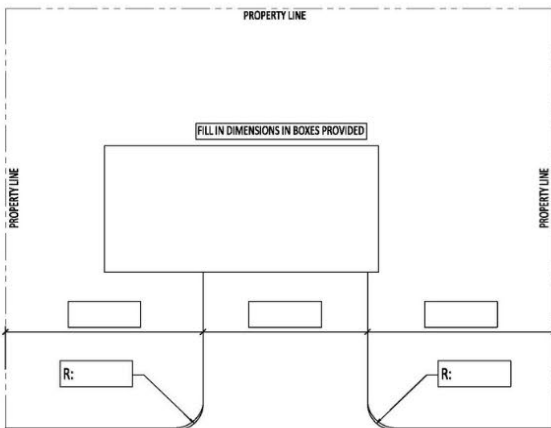
Required for curb cuts, approaches, curb replacement and sidewalks. The contractor must be licensed with a paving prequalification and ADA certification.



BUILDING PERMIT NO: _____
CONTRACTOR: _____
APPLICANT NAME: _____
LOCATION ADDRESS: _____
CONTRACTOR PHONE: _____
NEW DRIVEWAY: REPLACING EXISTING DRIVEWAY:
APPROVED: DENIED:
BY: _____ DATE: _____



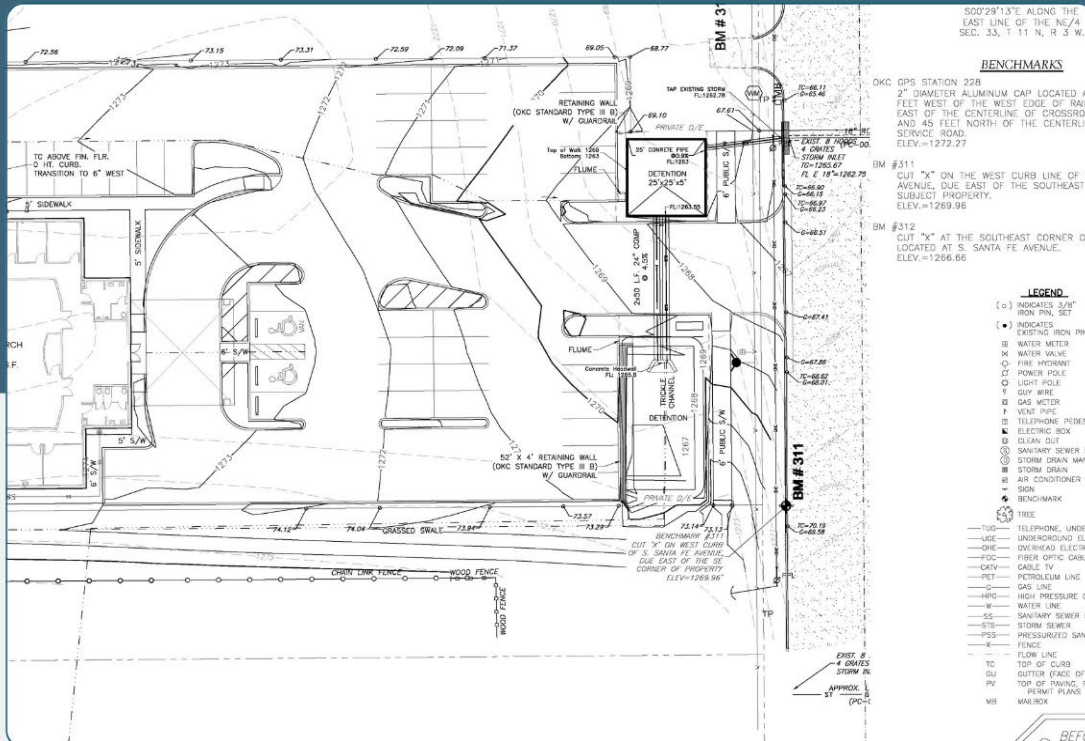
The City of
OKLAHOMA CITY
Public Works
Engineering Division
ROW / Driveway Permit



- Submittals must include construction drawings
- Permit only issued to prequalified contractor. Must have a minimum Class D
- Permit fee varies, based on length
- Permit must be kept on site
- Driveways & sidewalks have two inspections. (Form and Final) To schedule an inspection: call (405) 297-3571

Storm Sewer Tap-In Permits

Required when tapping public storm sewer manholes.



- Must have the PNP sheet from the approved civil plans
- Tap-in permits for PV- plan sets must include drainage report.
- Permit issued to a prequalified contractor. Must have a minimum Class C
- Permit must be kept on site
- Tap-in permits are inspected once construction is complete. To schedule an inspection: call (405) 297-3571

Revocable Permits

Required when placing items within the public ROW or public easement, such as fences, signs, landscaping and irrigation. No permanent structures are allowed.



THE CITY OF OKLAHOMA CITY
Public Works Department
REVO-20 _____

REVOCABLE PERMIT

This Revocable Permit made and entered into this on _____ by and between THE CITY OF OKLAHOMA CITY, ("City") and John Doe, ("Permittee").

WHEREAS, the Permittee desires to construct, erect, operate, and maintain fence, sign, landscaping and irrigation, private line ("Improvement") within, over, under, or on a portion of the public way or easement, or City-owned property at 420 W Main St. located in Oklahoma City, Oklahoma.

NOW THEREFORE, in consideration of the covenants and agreements hereinafter set forth, it is mutually agreed by the parties hereto as follows:

1. City hereby issues the Permittee a Revocable Permit for the purpose of construction, erection, operation, and maintenance of Improvement within, over, under, or on a portion of the public way, easement, or City-owned property at the above address in accordance with the Permittee's application and approved plans and specifications incorporated herein.
2. Permittee acknowledges and agrees that Permittee's application, plans, and specifications accurately represent the purpose of construction, erection, operation, and maintenance of Improvement within, over, under, or on a portion of the public way, easement, or City-owned property at the above address.
3. Permittee agrees that this Revocable Permit is subject to the following conditions and agrees to obtain the following permits:

4. Permittee agrees to construct, erect, operate, and maintain said Improvement in a safe and proper manner, with an attractive appearance. Permittee further agrees and understands that Permittee acts at its own risk constructing, erecting, operating, or maintaining the Improvement within, over, under, or upon the City's public way, easement or City-owned property.
5. Permittee agrees that all construction, erection, operation, and maintenance with the public way, easement, or City-owned property will be in accordance with City ordinances, standard specifications, and the City Engineer's required processes.
6. Permittee shall be responsible for locating, pot holing, if necessary, and protecting all existing utilities and other improvements within the public way, easement, or City-owned property. Contact OKIE at (405) 840-5032 to locate utility improvements. City Utilities contacts are the following: Water and Sewer Lines, Utilities Department Emergency Dispatch Office at (405) 297-3334; Storm Drainage, Public Works Department at (405) 297-2581.

7. Permittee shall be responsible for replacing all traffic control devices that are damaged, destroyed, or removed during construction, erection, operation, and maintenance. Devices shall be in conformance with the City's MUTCD. Contact the City's Traffic Management to schedule inspections and for traffic lane closures, traffic operations, signal locates, and conduit location (405) 297-2581, two business days prior to construction, erection, operation, and maintenance. All traffic lanes must be open from 7:00 am to 9:00 am and 4:00 pm to 6:00 pm.
8. Permittee agrees when installing an Irrigation System that will encroach into a drainage easement that the Permittee shall not alter the slope or grade in the drainage easement, not remove, damage alter, or block any drainage structures, and not fill or change natural drainage unless specifically authorized.
9. If request pertains to the placement of private water or sewer service lines, the following shall apply:
 - a. Should the City construct or cause another to construct a water or sewer main which will serve the Permittee's property then Permittee shall, at its own expense, disconnect the private line and reconnect to the City main; and
 - b. Should the public way, easement, or City-owned property be needed by the City then Permittee shall, at its own expense, relocate the private line.
10. It is mutually agreed and understood between the parties hereto that by reason of the issuance of the Permit, the Permittee acquires no property or contract rights in the City's public way, easement, or City-owned property.
11. Permittee agrees to defend, protect, and save harmless the City from any and all damages, claims, or causes of action whatsoever arising out of the construction, erection, operation, maintenance, and existence of the Improvement or City use of public way, easement, or City-owned property requiring Permittee to remove or relocate the Improvement.
12. Further, it is mutually agreed and understood between the parties that this Revocable Permit may be revoked or cancelled at the discretion of the City Engineer at any time.
13. Permittee agrees that in the event of revocation, it will comply with the revocation order and will promptly restore the City's public way, easement, or City-owned property to the original condition at Permittee's own expense. It is expressly agreed and understood between parties that should it become necessary to remove or relocate the Improvement permitted herein or in part as to allow the City to utilize the public way, easement, or City-owned property in any manner permitted by law, the City shall not be deemed responsible for any loss or damaged suffered by reason of such removal or relocation. If not timely removed or relocated, then the City can remove or relocate without liability for damage or loss suffered by Permittee.
14. Permittee shall not assign or transfer this Revocable Permit without written approval of the City Engineer.

PERMITTEE

BY: John Doe

THE CITY OF OKLAHOMA CITY

BY: _____
City Engineer

- Applications at OKC.gov
- Submittals must include application and construction drawings
- Anyone can apply
- Permit fees are \$50
- These are not inspected

ODOT Driveway Agreement

Required when placing a driveway within ODOT rights-of-way that is maintained by the City.



**STATE OF OKLAHOMA
DEPARTMENT OF TRANSPORTATION
DRIVEWAY AGREEMENT**

Applicant: Type or Print All Information & Attach Copies of Site Plans, Frontage Easements or Joint-Use Agreements

Permit No.: _____
Effective Date: _____
Construction Time: _____
Temporary Driveway Time Limit: _____
OFFICIAL USE ONLY

Division No.: _____ County No.: _____

Check All Applicable Boxes: Are there any existing driveway(s) within the Property Frontage? Yes No If yes, how many: _____

This Agreement is for New Driveway(s) , or a Modification of existing Driveway(s) .

New or Modified Driveway(s) Type: Non-Commercial Commercial/Industrial Temporary

Is the Highway Curbed? Yes No Reviewed By: _____

Company Name _____
Property Owner _____
Mailing Address _____
City, State, Zip _____
Telephone No. _____

Signature - City Authority _____ Date _____
Chief Engineer or his Agent _____ Date _____
Division Engineer or his Agent _____ Date _____

THE HEREIN TERMED "OWNER" REQUESTS PERMISSION TO CONSTRUCT _____ DRIVEWAY(S) DESCRIBED BELOW AND AS SHOWN ON THE DRAWING(S) ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF, FOR THE PURPOSE OF PROVIDING ACCESS TO A _____ WITH HIGHWAY _____

FRONTAGE OF _____, ALONG _____ AND _____ ALONG _____, IN _____ COUNTY, _____ CITY, WITH THE DRIVEWAY LOCATED APPROXIMATELY _____ OR _____ OF _____ AND FURTHER DESCRIBED AS: _____

Descriptions: (List Each Driveway Separately. If more than 2-drives, attach additional description on separate sheet).
1. _____ wide driveway on the _____ Side of highway at milepost _____
Drainage to be provided under Driveway by installation of _____ X _____ with a _____ end section, and/or Valley Gutter located _____ from the edge of traveled lane.
Proposed Driveway Surfacing Material: _____ Thickness: _____

DRIVEWAY AGREEMENT (Continued)

17. That failure of the applicant to comply with any part or all of this agreement, or to maintain said driveway(s) in a condition satisfactory to the Department of Transportation, will nullify the authority granted hereunder, and will constitute all necessary authority for the Department of Transportation to remove said driveway(s) and structures from the right-of-way.

18. That if the driveway(s) are not constructed in accordance with the sketches or plans contained in this agreement and/or are not built to ODOT standards and specifications, the Department of Transportation, in its sole discretion, may require the applicant to modify or remove the driveway(s) and/or de-construct and reconstruct the driveway(s) at the applicant's expense.

19. That this Permit shall expire if the driveway is not constructed on or before six months after the effective date shown on the front of this agreement, unless the applicant has requested a time extension in writing to the Department of Transportation. That the applicant will complete the construction of the driveway(s) within the time limit of this permit agreement.

This agreement shall be binding upon and inure to the benefit of the successors or assigns of the parties hereto.

Single-Use Agreement
Owner Signature: _____ Date: _____
STATE OF OKLAHOMA)
COUNTY OF _____)
Subscribed and sworn before me this _____ day of _____, 20____.

Joint Use or Frontage Encroachment Agreement
Owner Signature: _____ Date: _____
STATE OF OKLAHOMA)
COUNTY OF _____)
Subscribed and sworn before me this _____ day of _____, 20____.

Original to Division
2nd Copy to Applicant
3rd Copy to City Authority or County Planning Board
4th Copy to Traffic Engineer
5th Copy to Unit Supervisor
Form TE-2000, REVISED 11/2008

- Applications at OKC.gov
- Submittals must include application and construction drawings
- Anyone can apply
- After City approval, applicant must obtain approval from ODOT
- Final approved application with ODOT signatures is submitted back to City

01

APPLICATION SUBMITTAL

Prequalified contractor submits application and construction drawings to the ACA portal. Permit fees paid prior to permit issuance.

02

PERMIT REVIEW

City staff routes application for review and approval. Bore and Paving cut permits also require approval from the City Engineer. Turn around for review is 2-3 days.

03

PERMIT ISSUANCE

Once the permit is approved and issued, the contractor must print the issued permit to keep on work site.

04

INSPECTIONS

When construction is complete, Field Services inspects for compliance of the OKC standards and specifications. To schedule an inspection - call (405) 297-3571

News

Project Updates

+ Resident & Community Resources

Traffic Advisories

Private Development

Drainage Ordinance Revision and Drainage Criteria Manual

Virtual Public Meetings

Flood Information



Private Development refers to any construction project within the City of Oklahoma City that is not publicly funded. For example: subdivisions, businesses, hotels and restaurants.

Easy-access permitting through the Accela Citizen Access (ACA) Portal

The permit application process is done through an [easy-access portal](#).

Private Plan Review Update

As of September 1, 2022, private paving and drainage plans are no longer reviewed, but required to be submitted for receipt and stamped. Projects are

Helpful Links:

[Newsletter Sign-Up](#)

Engineer Resources:

[Coversheets](#)

[Standards](#)

[Easements](#)

For engineering questions:

pwtechnview@okc.gov

Permit Applications:

[EFMA Elevation Certificate](#)

[Floodplain Activity](#)

[Revocable Permit](#)

[Driveway Permit](#)

[ODOT Driveway Permit](#)

[Bore and Paving Cut](#)

For permit questions:

pwpermits@okc.gov

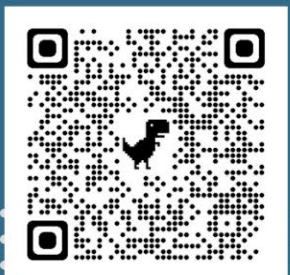
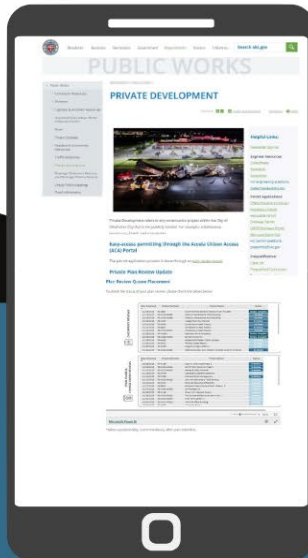
Prequalification:

[Class List](#)

[Prequalified Contractors](#)

For prequal questions:

prequal@okc.gov



ACA Portal & Permit Application

Get in Touch



In Person

420 W. Main St. OKC, OK.



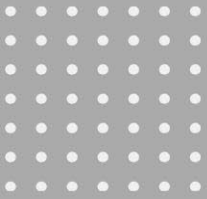
By Phone

PW Front desk (405) 297-2581
Angela Resendiz (405) 297-1986



By Email

pwpermits@okc.gov
angela.resendiz@okc.gov





A CLOSER LOOK AT

FINISHED FLOOR LETTERS



MEMORANDUM
The City of
OKLAHOMA CITY

DATE:

SUBJECT: Building Permits for:
 Project number and name:
 Project Address:

Upon review, submitted by ENTER ENGINEERING FIRM, a minimum finished floor elevation is required for the correlating building permits of these lots:

<u>Lot</u>	<u>Block</u>	<u>Minimum Finished Floor Elevation</u>	<u>Basis of Determination</u>
(1 – 13)*	1	1,064.4'	FEMA SFHA
(14, 15)*	1	Per Asbuilt	1' above Top of Curb of the Flume
(16, 17)*	1	1,065.3'	FEMA SFHA
(18 – 23)*	1	1,066.7'	FEMA SFHA
24, 25	1	1,066.3'	Flume
7	2	Per Asbuilt	1' above Top of Curb
27	2	Per Asbuilt	1' above Top of Curb
15	3	Per Asbuilt	1' above Top of Curb
36	4	Per Asbuilt	1' above Top of Curb
14, 15	5	Per Asbuilt	1' above Top of Curb
(1 – 19)* ¹	7	1,064.4'	FEMA SFHA
(20 – 25)* ¹	7	1,064.8'	FEMA SFHA
(26, 27)* ¹	7	Per Asbuilt	1' above Top of Curb of the Flume
(28 – 33)* ¹	7	1,063.5'	FEMA SFHA

*Floodplain Activity Permit approval needed by Oklahoma City Public Works
¹FEMA E.C. needed for approval by Oklahoma City Public Works before C.O. can be released

The minimum finished floor elevation provided applies to all structures including garages, outbuildings, mobile home anchor slabs, and basements. No two-part building permits will be required on the remaining lots in this addition. The above elevations have been adjusted and referenced to the North American Vertical Datum 1988 (NAVD 1988).

Basements and storm shelters can be constructed with lowest opening at or above the minimum finished floor elevation when the basis of determination is a flume or top of curb. If additional Special Flood Hazard Areas are considered in the above table, the lower elevation sets the minimum for basement floors.

Finished Floor Letter Example

420 West Main St, Suite 700, Oklahoma City, OK 73102 • 405/297-2581

Effective June 1, 2024; for residential and industrial projects submitted that are adjacent to a flooding source, a 'Finished Floor' memo will be required.

In an attempt to expedite the building process, we are asking the engineering community to assist in our endeavor by submitting the following:

1. Include a chart listing the minimum FFE for each proposed building to be placed on the grading sheet of civil plans.
2. During the final review, a 'Finished Floor' letter draft will need to be submitted for review and approval.
3. A Final 'Finished Flood' letter will be submitted with the asbuilt plans.

A sample of the Finished Floor letter has been uploaded to okc.gov/pw for download



JIM THORNTON BUILDING
A CLOSER LOOK AT

**DRAINAGE
ORDINANCE UPDATE**



MEMORANDUM

Council Agenda
Item No. XI. O
1/30/2024

The City of OKLAHOMA CITY

TO: Mayor and City Council

FROM: Craig Freeman, City Manager

Ordinance on final hearing, amending the Oklahoma City Municipal Code, 2020, amending Chapter 16, relating to Drainage and Flood Control, by amending Section 16-6, Primary Drainage Channel Requirements, Section 16-7, Secondary Drainage Channels and Surface Drainage Requirements, 16-8, Rural Subdivisions, Section 16-10, Major River Channel Requirements and Section 16-18, Applicability of Provisions.

Purpose:

To amend those sections of the drainage ordinance to require mechanical and electrical equipment for residential or nonresidential structures to be elevated 1 foot above the 100-year flood elevation and to adopt updated Flood Insurance Rate Maps (FIRM) from the Federal Emergency Management Agency (FEMA).

Background:

The City of Oklahoma City participates in FEMA's Community Rating System (CRS) program which by meeting certain requirements of the program will receive a rating from 1 to 9 with 9 being the lowest class. The City is currently at a Class 9 which provides residents a 5% discount on flood insurance premiums. A prerequisite for Class 8 is to require in the drainage ordinance that mechanical and electrical equipment be elevated 1 foot above the 100-year flood elevation in the Special Flood Hazard Area (SFHA). Currently, these sections of Chapter 16 require mechanical and electrical equipment to be designed and/or located to prevent water from entering or accumulating within the components during conditions of flooding. This ordinance amends Sections 16-6, 16-7, 16-8, and 16-10 to require mechanical and electrical equipment for residential or nonresidential structures to be elevated 1 foot above the 100-year flood elevation. This will reduce the risk of damage from floodwaters, increase safety by reducing the risk of electrical fires or equipment malfunction, reduce disruption in service, provide long term cost saving, and lower insurance premiums. Amending the ordinance will move the City up to CRS Class 8 and provide a 10% discount on flood insurance premiums for residents in the SFHA.

This ordinance also amends Section 16-18 to adopt two new FIRM from FEMA. The new map covers Cleveland and Oklahoma Counties. The maps for Cleveland County were updated in 2008 and Oklahoma County were updated in 2009, previously. Updates to this ordinance allow for continuity of availability of flood insurance coverage for Oklahoma City residents.

The City of Oklahoma City is currently at a Class 9 which provides residents a 5% discount on flood insurance premiums. As a prerequisite for the CRS Class 8:

City council adopted changes to the Oklahoma City Municipal Code, 2020, amending Chapter 16, relating to Drainage and Flood Control.

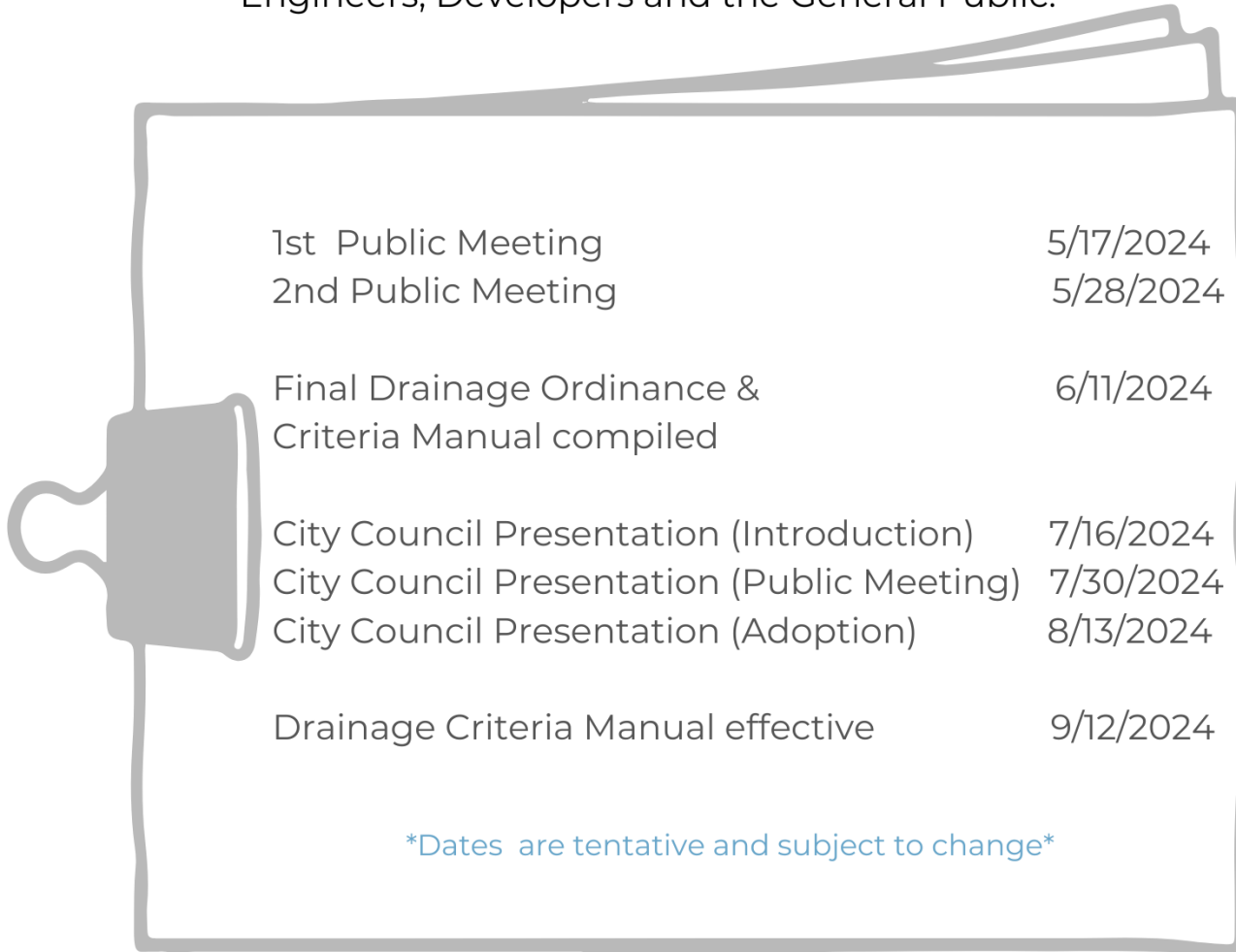
Amending those sections of the drainage ordinance to require mechanical and electrical equipment for to be elevated 1 foot above the 100-year flood elevation and to adopt updated Flood Insurance Rate Maps from the Federal Emergency Management Agency.

Adopted by council: 1/30/2024

MUNICIPAL CODE 2020 CHAPTER 16 UPDATE

DRAINAGE CRITERIA UPDATE

The City of Oklahoma City is preparing a revised, updated Drainage Ordinance (Chapter 16 - Drainage and Flood Controls), and a new Drainage Criteria Manual (DCM), for presentation to and adoption by the City Council. The proposed documents are available for review and comment by all interested Engineers, Developers and the General Public.



1st Public Meeting	5/17/2024
2nd Public Meeting	5/28/2024
Final Drainage Ordinance & Criteria Manual compiled	6/11/2024
City Council Presentation (Introduction)	7/16/2024
City Council Presentation (Public Meeting)	7/30/2024
City Council Presentation (Adoption)	8/13/2024
Drainage Criteria Manual effective	9/12/2024

Dates are tentative and subject to change



A CLOSER LOOK AT

STORMWATER QUALITY

LAND DISTURBING ACTIVITY:
THE PERMITTING AND PLAN REVIEW PROCESS

Plan Review

01

Over 1 Acre

Projects over 1 acre (within OKC limits) will require both state and city SWQ- permits.

02

SWL- Permit Number

SWQ- permit numbers are required to be shown on plans and standard comments.

03

BMP Detail Sheets

Include all BMP sheets associated with erosion/ sediment controls. Include quantities of each control used.

04

Erosion Control Plan

All areas of land disturbance should have associated controls shown on the erosion control plan.

LAND DISTURBING ACTIVITIES

Required when the project involves earth disturbing activities such as clearing, dredging, grading, excavating, stockpiling, and/or filling of soil or earthen materials

EXEMPTIONS



Individual home landscaping, home repairs, home maintenance work, or gardening



Construction of single-family residences on a lot less than one acre (not in a subdivision)



Individual service and sewer connections for single- or two-family residence



Agricultural, forestry, dairy, livestock and poultry management or farm building construction



Installation, maintenance and repair of underground public utility lines



Construction, repair or rebuilding railroad tracks

DO I NEED A LAND DISTURBING PERMIT



WILL LAND DISTURBING ACTIVITIES BE PERFORMED?
(clearing, dredging, grading, excavating, transporting, storing, stockpiling, disposing and filling of soil)

NO

LAND DISTURBING PERMIT NOT REQUIRED

YES

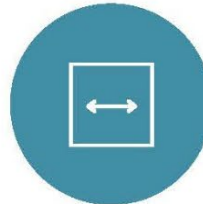


IS THE LAND DISTURBING ACTIVITY EXEMPT?
(individual home landscaping and utility connections, single-family residence less than one acre not in subdivision, agricultural, forestry, install/maintain public utility line under a paved surface)

YES

LAND DISTURBING PERMIT NOT REQUIRED

NO



IS THE PROJECT OVER ONE (1) ACRE?

NO

OKC LAND DISTURBING PERMIT REQUIRED

YES

OKC LAND DISTURBING PERMIT REQUIRED

+

ODEQ CONSTRUCTION PERMIT REQUIRED

REFER TO STORM WATER QUALITY LAND DISTURBING PERMIT SUBMITTAL REQUIREMENTS CHECKLIST FOR FORMS, TEMPLATES AND PERMITTING PROCESS



THE CITY OF OKLAHOMA CITY
STORM WATER QUALITY
(405) 297-1774 • OKC.GOV/SWQ

PERMITTING PROCESS

STEP
01

Submit Applicable Documents:

- Notice of Intent
- Storm Water Pollution Prevention Plan & Site Plan
- Submit Associated Permits / Notifications (FPAT- permits and 404s)



STEP
02

Documents Accepted by SWQ Staff



STEP
03

Permit Fees Paid



STEP
04

Permit Issued



SWPPP DEVELOPMENT

**Site Assessment
and Planning**

**Selecting Erosion
and Sediment
Control BMPs**

**Selecting Good
Housekeeping
BMPs**

**Outline Inspection,
Maintenance and
Record keeping
Practices**

01

NOTIFICATION

- Notice of Intent (NOI)
- SWPPP and ECP
- Additional Permits and Notifications (404 and FPAT-)

02

SWPPP IMPLEMENTATION

- Install BMPS
- Conduct Inspections
- Perform Maintenance

03

TERMINATION

- Stabilize Disturbed Area(s)
- Remove BMPs
- Submit Notice of Termination (NOT)

REQUIRED DOCUMENTATION



OPERATOR / SIGNATORY

The Engineer should not be listed as the operator/signatory on the NOI or SWPPP unless they will have operational control of the project and will be responsible for permit compliance.



IF THE ENGINEER IS DRAFTING THE SWPPP:

- Project and SWPPP contact information
- Site and activity description, including a site map and Erosion Control Plan (ECP)
- Identification of potential pollutant sources
- Description of controls to reduce pollutants
- Maintenance/inspection procedures
- Records of inspections and BMP maintenance
- SWPPP amendments and certification

SWQ staff reviews all submitted documentation for accuracy and completeness. Additional documentations such as USACE 404 permit and OKC Floodplain Activity Permits are required submittal to SWQ prior to permit issuance.

Terminating or Transferring Permit Coverage

Submit a Notice of Termination Form (NOT) When:

- Land disturbing activity is complete
- All areas disturbed during the project have been stabilized
- Erosion and sediment controls have been removed
- All permit fees have been paid
- Another owner/operator has taken control of the project

To Transfer Permit Coverage:

- The current permittee must submit an NOT form and pay all permit fees and;
- The new operator must submit a NOI, SWPPP, and ECP for review/acceptance.

QUESTIONS?



Storm Water Quality Management Division:

Construction Permitting & Auditing Section

Environmental Technicians

Jairus Greco: Northwest Section

Taylor Wiedemann: North Central Section

Joseph Billington: Northeast Section

Alyssa Lusk: Southwest Section

Bryan Jones: South Central Section

Joshua Adams: Southeast Section

Melanie Lawson: Environmental Unit Specialist

Jimmy Stotts: Environmental Unit Supervisor



A CLOSER LOOK AT

STANDARDS UPDATE

AN INTRODUCTION

The Standard Specifications for Construction of Public Improvement were amended and revised to reflect changes in State Statutes and City policies. Sections 100, 200, 300, 400, 500 and 600 have updated the materials and construction standards to meet current best practices; consolidate the City's construction bidding documents; and to correct previous discrepancies and omissions.

The revised Standard Specifications went into effect 9/12/2023, and apply to all new projects and new construction. Existing projects may continue to use the previous standard specifications.

SECTION 200

Earthwork

New

- Section 223
Cement Subgrade
Stabilization
- Section 224
Cement Treated
Base

Revised

- Section 220 –
Subgrade This
section now
includes ODOT's
Subgrade
Specification

Removed

- Section 214 Lean Mix
Concrete
- Section 216 Concrete
Cradles
- Section 217 Concrete
Arches
- Section 218 Embedment
Plugs
- Section 221 Natural Soil
Base
- Section 253 Tunneling
- Section 254 Micro and
Small Diameter Tunneling

SECTION 300

Pavement & Surface Courses

Adopted

- ODOT Section 400, General Requirements for Surfaces
- From OKC Special Provisions - Technical
 - Proof rolling milled surfaces
 - Tack coat specification
 - Old milling specification
 - Asphalt crack repair specification
 - Interlayer Specification.



Removed

- Section 307 Planer Profiling Pavements

SECTION 400

Storm Water Structures

Revised

- Section 450 Construction Requirements for Storm Sewers
- Section 451 Reinforced Concrete Pipe (RCP)
- Section 452 Polypropylene Pipe (PP)
- Section 453 Corrugated Steel Pipe (CSP)
- Section 454 Precast Reinforced Concrete Box Culvert (RCB)
- Section 455 Storm Sewer Manholes
- Section 456 Adjustment of Existing Manhole.
(Consolidated sections 456-461)

UPDATED STANDARDS

Revised

- D-100s Asphaltic Paving Details
- D-200s Concrete Paving Details
- D-300 Driveway Details
- D-400 Cul-De-Sacs Details
- D-500 Miscellaneous Details
- D-505 Pedestrian Guardrail and Pipe rail Details
- D-600 Guardrail Extruder Terminal Details
- D-700s ADA Requirement Details
- D-800s Standard Details



QUESTIONS?



Brock.Miner@okc.gov



(405) 297-2581