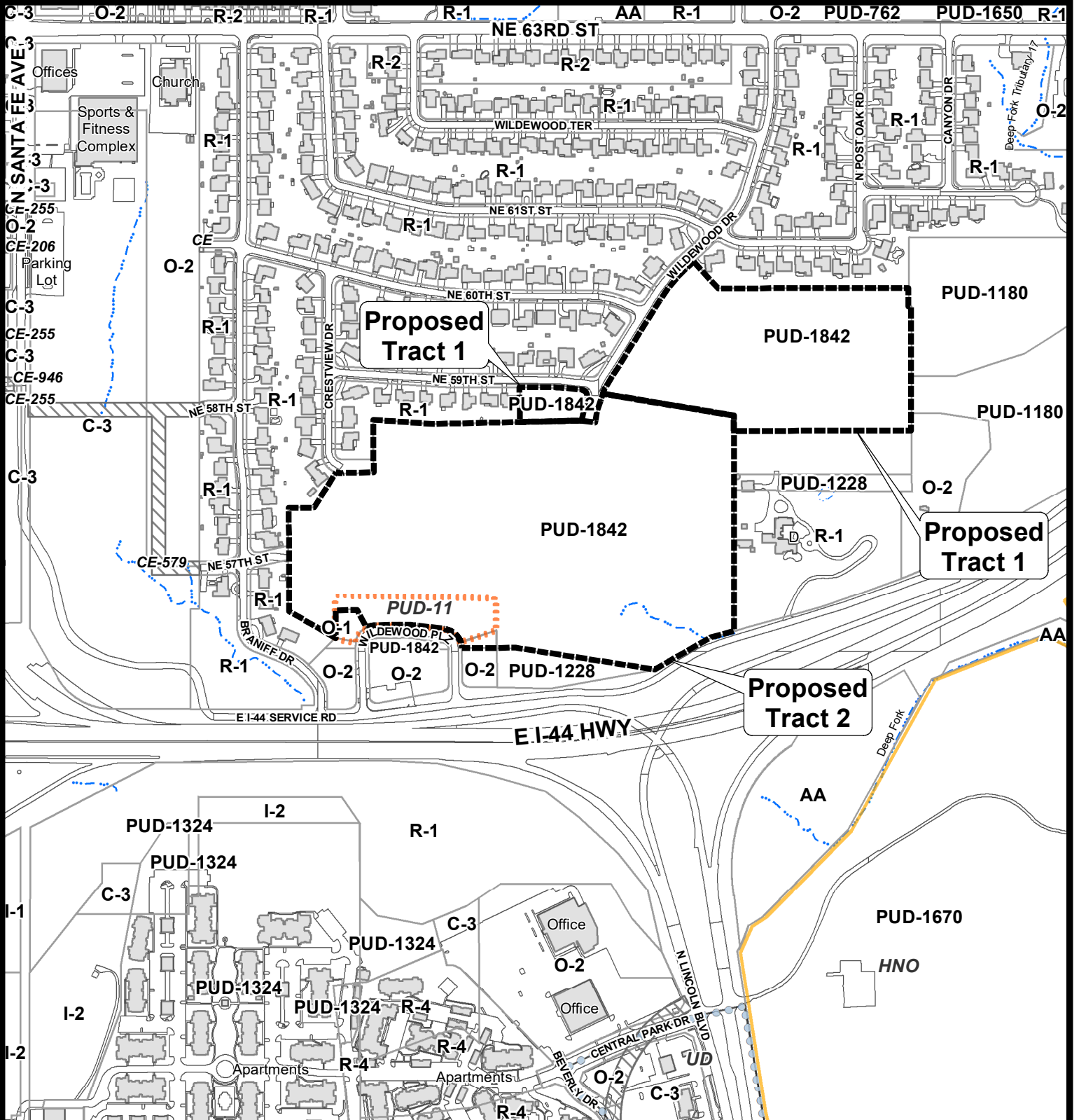


Case No: PUD-2016 Applicant: Corridor Project Partners, LLC

Existing Zoning: PUD-1842 / PUD-11

Location: 5900 Wildewood Drive



The City of  
OKLAHOMA CITY

# Planned Unit Development



0 250 500 Feet

**THE CITY OF OKLAHOMA CITY  
PLANNED UNIT DEVELOPMENT**

**PUD - \_\_\_\_\_**

**MASTER DESIGN STATEMENT FOR**

**The Corridor Project**

**5900 Wildewood Drive**

April 19, 2024

May 2, 2024

**PREPARED FOR:**

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## **1.0 INTRODUCTION:**

The Planned Unit Development (PUD) of The Corridor Project, consisting of +/-42.7623 acres are located within the Northwest Quarter (NW/4) of Section 10, Township 12 N, Range 3 W, of the Indian Meridian, Oklahoma County, Oklahoma. The subject property is generally located at 5900 Wildewood Drive.

## **2.0 LEGAL DESCRIPTION:**

The legal description of the property comprising this PUD is described in Exhibit A, attached, and is made a part of this Master Design Statement.

## **3.0 OWNER/DEVELOPER:**

The Developer of the property described in Section 2.0 is Corridor Project Partners, LLC. Johnson & Associates prepared this PUD document.

## **4.0 SITE AND SURROUNDING AREA:**

The subject property is located at 5900 Wildewood Drive. The property is currently zoned as PUD-1842 with base zonings of R-1, "Single-Family Residential", R-4, "General Residential" and C-3, "Community Commercial" Districts. The subject property is undeveloped.

North: North of the subject site is zoned and developed as R-1, "Single Family Residential" District.

East: Immediately east of the subject site is zoned as R-1, "Single-Family Residential", and developed as such, and PUD-1842 which is undeveloped. An application has been submitted to the City of Oklahoma City to rezone the R-1 property to SPUD-1629 with a base zoning of C-3, "Community Commercial" to permit an event / wedding venue.

South: South of the subject site is zoned as O-2, "General Office" District and PUD-1228 and is undeveloped.

West: Directly west of the subject site is zoned and developed as R-1, "Single-Family Residential" District. Beyond is undeveloped and zoned as O-2, "General Office" District and C-3, "Community Commercial" District.

## **5.0 PHYSICAL CHARACTERISTICS:**

The elevation of the subject property ranges from approximately 1130-1160 and generally slopes to the southeast. Tree cover on the property is generally clustered in the southeast corner and the far west and east portions of the site and covers approximately 25% of the site. The property is not within the FEMA Floodplain. There are no USACoE regulated "Blue Line Streams" running through the property.

## **6.0 CONCEPT:**

It is the developer's intent to develop the subject property as single family and multi-family residential in two separate tracts while also providing ample greenspace amenities for residents. The greenspace amenities may include a clubhouse, pool, ponds, walking trails and outdoor gathering spaces. This proposed development will complement the surrounding areas. The close proximity to I-44 and I-235 provides residents quick access other areas of Oklahoma City and the surrounding cities.

By modifying the existing zoning requirements, the design statement and exhibits that constitute this Planned Unit Development will provide the developer with the flexibility desired to develop the site in a way that compliments the surrounding development.

### **6.1 DEVELOPMENT AND SUBDIVISION VARIATIONS**

The following represents variations to the R-1, "Single-Family Residential" and the R-4, "General Residential" base zoning districts or other sections of the Oklahoma City Zoning Ordinance, 2020, as amended:

- Table 6100.2: Agricultural and Residential Zoning Districts Bulk Standards
  - R-4 Setbacks: The setback requirements for the R-4 district are as follows:
    - Front Yard: 25 feet
    - Side Yard
      - Interior side yard: 5 feet
      - Corner side yard: 15 feet
      - Interior Lot Line of Individual Structures that Coincides with the Party Wall Separating the Units: 0 feet
    - This PUD proposes setbacks for the Tract 2 exterior boundary only. Said setbacks are as follows:
      - Northern Boundary: 15 feet for single family detached, 20 feet for all other uses
      - Eastern Boundary: 20 feet
      - Western Boundary: 20 feet
      - Southern Boundary: 0 feet

## **7.0 SERVICE AVAILABILITY:**

### **7.1 STREETS**

Access into this PUD shall be via existing public streets.

### **7.2 SANITARY SEWER**

Public sanitary sewer facilities for this property are available. Sanitary sewer services will be provided from public mains located within dedicated utility easements.

### **7.3 WATER**

Water facilities for this property are available. Water services will be provided from public mains located within dedicated utility easements.

#### **7.4 FIRE PROTECTION**

The nearest fire station to this property is station number 11 located at 900 NW 50<sup>th</sup> St. Approximately 3 miles southwest of this PUD development. Anticipated response times are of urban service levels.

#### **7.5 GAS SERVICE, ELECTRICAL SERVICE, AND TELEPHONE SERVICE**

Proper coordination with the various utility companies will be made in conjunction with this development.

#### **7.6 PUBLIC TRANSPORTATION**

There are no bus stops within this Planned Unit Development. The closest EMBARK route is 018 Lincoln with the closest bus stops being approximately 0.2 miles north of the subject site along NE 63<sup>rd</sup> St.

#### **7.7 DRAINAGE**

The property within this Planned Unit Development is not within the FEMA 100-year floodplain. The proposed development will comply with the current City of Oklahoma City Drainage Ordinance.

#### **7.8 planOKC COMPREHENSIVE PLAN**

The Land Use Plan projects this parcel to be in the Urban Low (UL) land use topology area. Urban Low applies to the least intensively developed areas of the city that still receive urban water, sewer, police, park, and fire services. Development in this area should provide horizontal integration of land uses, connectivity within and between individual developments, and design that facilitates pedestrian and bicycle transportation.

The uses proposed in this Planned Unit Development are consistent and in compliance with the Urban Low area standards. The Urban Low designation calls for a gross density of 4-8 dwelling units per acre for single family and 15-30 dwelling units per acre for multifamily.

#### **8.0 SPECIAL DEVELOPMENT REGULATIONS:**

The following Special Development Regulations and/or limitations are placed upon the development of the PUD. Planning and zoning regulations will be those which are in effect at the time of development of this PUD, provided, however, that the density and or intensity of the PUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this PUD. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this PUD. In the event of conflict between provisions of this PUD and any of the provisions of the Oklahoma City Municipal Code, 2020, as amended, in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this PUD and the provisions of the Code in effect at the time

a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, such Special Use and Development Regulations of this PUD shall prevail and be controlling.

## **8.1 USE AND DEVELOPMENT REGULATIONS**

This PUD shall consist of two Tracts.

The use and development regulations of the **R-1, “Single-Family Residential” District** shall govern Tract 1 and the **R-4, “General Residential” District** shall govern Tract 2 within this PUD, except as herein modified, including conditional, special permit, special exception, alcohol beverage consumption requirements and/or accessory uses subject to their appropriate conditions and review procedures for public hearings where applicable, unless otherwise noted herein.

## **9.0 SPECIAL CONDITIONS:**

The following special conditions shall be made a part of this PUD:

### **TRACT 1**

#### **Permitted Uses:**

- Artistic Graphics (8250.1)
- Community Recreation: Restricted (8250.4)
- Community Recreation: Property Owners Association (8250.3)
- Cultural Exhibits (8250.5)
- Model Home (8200.8)
- Murals (8250.16)
- Rainwater Harvesting (8150.7.1)
- Roof Garden (8150.7.2)
- Single-Family Residential (8200.14)

#### **Tract 1 Bulk Standards**

##### *Minimum Lot Size:*

The minimum lot size within Tract 1 shall be per the base zoning district.

##### *Maximum Building Coverage:*

The maximum building coverage within Tract 1 shall be per the base zoning district.

##### *Density:*

Density within Tract 1 shall be per the base zoning district.

##### *Minimum Lot Width:*

The minimum lot width within Tract 1 shall be per the base zoning district.

##### *Setbacks:*

Setbacks within Tract 1 shall be per the base zoning district.



## TRACT 2

### Permitted Uses:

- Community Garden (8150.6.1)
- Community Recreation: Property Owners Association (8250.3)
- Community Recreation: Restricted (8250.4)
- Home Garden (8150.6.4)
- Multiple-Family Residential (8200.12)
- Rainwater Harvesting (8150.7.2)
- Roof Garden (8150.7.2)
- Senior Independent Living (8200.13)
- Single-Family Residential (8200.14)
- Three- and Four-Family Residential (8200.15)
- Two-Family Residential (8200.16)

### Tract 2 Bulk Standards

#### *Minimum Lot Size:*

The minimum lot size within Tract 2 shall be per the base zoning district.

#### *Maximum Building Coverage:*

The maximum lot coverage within Tract 2 shall be per the base zoning district.

#### *Density:*

Density within Tract 2 shall be per the base zoning district.

#### *Minimum Lot Width:*

The minimum lot width within Tract 2 shall be per the base zoning district.

#### *Setbacks:*

There shall be no internal setbacks, except as required by the City of Oklahoma City Fire Code.

#### Exterior Tract Setbacks:

Northern Boundary: 15 feet for single family detached, 20 feet for all other uses  
Eastern Boundary: 20 feet  
Western Boundary: 20 feet  
Southern Boundary: 0 Feet

## 9.1 ARCHITECTURAL REGULATIONS

Exterior building facades on all structures, exclusive of windows and doors, shall consist of a minimum 70% masonry material. Brick, Stone, cast stone, glass fiber reinforced concrete, textured concrete panels, stucco, wood, split face concrete masonry and architectural metal panels are acceptable materials. Vinyl, aluminum, sheet metal siding, Exterior Insulation and Finish Systems (EIFS) are not permitted.

## **9.2 LANDSCAPING REGULATIONS**

The subject site shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development, except as otherwise noted.

Unique natural resources, such as significant vegetation, water courses, or native rock outcroppings and other natural features that create desirable and functional environments for patrons, pedestrians and occupants shall be included in the subsequent Specific Plan. A Landscape Plan shall be required as part of said Specific Plan.

Existing healthy, mature trees will be protected in this PUD to the maximum extent possible.

## **9.3 LIGHTING REGULATIONS**

The site lighting in this PUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

To minimize light spillover on residential uses, outdoor lights within any office or commercial or industrial tracts will be directed away from any adjacent residential properties. To accomplish this, lights shall utilize shields, shades, or other appropriate methods of directing light beams.

## **9.4 SCREENING REGULATIONS**

Tract 1 shall not be required sight-proof screening.

To screen residential development within Tract 2 from the existing single-family development, a privacy fence (sight-proof screen) shall be required to be constructed entirely of wood, stucco, brick, or stone on a continuous footing. If constructed with wood (cedar) said screening shall require galvanized metal posts.

## **9.5 PLATTING REGULATIONS**

Platting shall be per the City of Oklahoma City Subdivision Regulations.

## **9.6 DRAINAGE REGULATIONS**

Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.

## **9.7 DUMPSTER REGULATIONS**

Dumpsters shall be located within an area screened by a fence or masonry wall of sufficient height that screens the dumpster from public streets and residences and shall be placed no closer than 50 feet from all property lines adjacent to a residential use.

## **9.8 VEHICULAR ACCESS REGULATIONS**

Access shall be taken from E I-44 Service Road, stub streets may also be provided to the east. Tract 1 shall be permitted access through the existing neighborhood to the north and west.

Tract 2 shall not be permitted access through the existing neighborhood to the north or west except for temporary access to the property while under development.

Access to this PUD shall be per the City of Oklahoma City Municipal Code, 2020, as amended and the Subdivision Regulations.

Lots within this PUD will not be required to have frontage on an approved street. Access to individual lots within the PUD may be permitted to be from a private drive. The private drive shall be placed within a common area designated for access purposes. A Property Owners Association through the use of recorded Covenants and Restrictions shall govern maintenance of the private drive. Access to the individual buildings shall be provided by private shared access drives that will provide internal circulation. Private shared access drives shall have a minimum pavement width of twenty (20) feet for one-way drives and twenty-four (24) feet for two-way drives.

## **9.9 PARKING REGULATIONS**

The design and number of all parking facilities in this PUD shall be in accordance with Section 59, Article X of the Oklahoma City Municipal Code, 2020, as amended.

Attached or detached garages shall count toward meeting parking requirements, provided each parking space in a garage shall be a minimum of 8½ feet by 18 feet.

## **9.10 SIGNAGE REGULATIONS**

The signage shall be per the City of Oklahoma City sign ordinance.

## **9.11 ROOFING REGULATIONS**

All structures in this PUD shall have Class C roofing or better.

## **9.12 PEDESTRIAN ACCESS/SIDEWALK REGULATIONS**

Five-foot wide sidewalks shall be constructed along the arterial street with each development parcel. Said sidewalks shall be 6-foot wide if the sidewalk is constructed adjacent to the curb, subject to the policies/procedures of the Public Works Department. Four (4) foot sidewalks shall be constructed on the interior streets prior to any occupancy certificates being issued. All sidewalks shall be in place prior to any occupancy certificates being issued.

## **9.13 HEIGHT REGULATIONS**

Tract 1: 2 ½ stories and 35 feet.

Tract 2: 45 feet, except that any multiple family residential uses would be permitted a maximum of 70 feet but located no closer than 250 feet to the northern or western PUD boundary.

#### **9.14 SETBACK REGULATIONS**

See tract bulk standards for setback regulations.

#### **9.15 PUBLIC IMPROVEMENTS**

Public improvements shall be made by the property owner throughout the PUD as required by the City of Oklahoma City Public Works Department or other City, County, or State Department or agency. All Local, State, and Federal ordinances as they shall apply to the site will be adhered to fully.

#### **9.16 OPEN SPACE**

In order to preserve the existing physical characteristics and environmental features of the land, this PUD shall require a minimum 15% of the subject property be reserved for open space and maintained by the POA and the HOA required to be created pursuant to this PUD.

#### **9.17 COMMON AREAS**

Maintenance of the common areas in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.

#### **9.18 GENERAL DESIGN AND DEVELOPMENT GUIDELINES**

Specific information and plans for General Design and Development Guidelines as contained in Chapter 59 Section 14200.4 for density, amenities, relationship to abutting uses, site design, safety, and circulation systems shall apply but shall not supersede any regulation set forth in this Design Statement.

#### **9.19 SPECIFIC PLAN**

No building permits for occupiable structures shall be issued in this PUD nor shall construction commence until a Specific Plan, including all items listed in Section 59-4150C of the Oklahoma City Municipal Code, 2020, as amended, as well as those imposed by this Design Statement shall have been approved by the Planning Commission for Tract 2 of this PUD.

A Specific Plan shall not be required for detached single family development or Tract 1 of this PUD.

**10.0 DEVELOPMENT SEQUENCE:**

Developmental phasing shall be allowed as a part of the development of this PUD. Required traffic improvements shall be permitted to be constructed in conjunction with the phased development of this PUD, as approved by the City's Traffic Division.

**11.0 EXHIBITS:**

The following exhibits are hereby attached and incorporated into this PUD. These exhibits are:

- A: Legal Description
- B: Tract Map
- C: Conceptual Site Plan

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

**The Corridor Project**

**April 30, 2024**

**Tract 1**

A tract of land being a part of the North Half (N/2) of Section Ten (10), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described as follows:

BEGINNING at the Southeast (SE) corner of Lot 1, Block 19 of WILDEWOOD HILLS ADDITION SECTION 4;

THENCE South 00°12'34" East, a distance of 67.90 feet;

THENCE North 89°59'47" East, a distance of 10.00 feet;

THENCE South 00°02'22" West, a distance of 461.52 feet;

THENCE South 89°55'18" West, a distance of 659.67 feet;

THENCE North 00°00'50" East, a distance of 56.89 feet;

THENCE North 80°35'09" West, a distance of 493.93 feet to a point on the east right-of-way of Wildewood Drive;

THENCE along and with said east right-of-way the following 4 courses:

1. North 20°32'15" East, a distance of 21.02 feet;
2. North 31°59'47" East, a distance of 384.72 feet;
3. on a curve to the right having a radius of 609.93 feet, a chord bearing of North 39°37'17" East, a chord distance of 161.86 feet and an arc length of 162.34 feet;
4. North 47°14'47" East, a distance of 31.70 feet to the west corner of Lot 9 in said Block 19;

THENCE South 42°45'13" East, along and with the southwest line of said Lot 9, a distance of 135.60 feet to the westerly south corner said Lot 9;

THENCE North 89°59'47" East, along and with the south line of Lots 9 through 1 in said Block 19, a distance of 707.23 feet to the POINT OF BEGINNING.

AND

Lots 1, 2 and 3, in Block 14 of WILDEWOOD HILLS ADDITION SECTION 3, to Oklahoma City, Oklahoma County, Oklahoma according to the plat recorded in Book 36 of Plats, Page 96.

Containing a total of 553,147 square feet or 12.6985 acres, more or less.

Basis of Bearing: Oklahoma State Plane Coordinate System (North Zone, NAD83) using a bearing of N 88°43'08" E along the south line of Lots 1 through 7 in Block 14, WILDEWOOD HILLS ADDITION SECTION 3. All Distances are grid distances in U.S. Survey Feet.

**AND**

Tract 2

A tract of land being a part of the North Half (N/2) of Section Ten (10), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described as follows:

BEGINNING at the Southeast (SE) Corner of Lot 1 in Block 14 of WILDEWOOD HILLS ADDITION SECTION 3, said point also being on the west right-of-way of Wildewood Drive;

THENCE South 81°30'20" East, a distance of 50.00 feet to a point on the east right-of-way of said Wildewood Drive;

THENCE along and with said east right-of-way the following 3 courses:

1. North 08°29'58" East, a distance of 8.34 feet;
2. on a curve to the right having a radius of 403.48 feet, a chord bearing of North 13°49'47" East, a chord distance of 75.01 feet and an arc length of 75.12 feet;
3. North 20°32'15" East, a distance of 28.65 feet;

THENCE South 80°35'09" East, departing said east right-of-way, a distance of 493.93 feet;

THENCE South 00°00'50" West, a distance of 800.79 feet to a point on the north right-of-way of the access road for Interstate 44;

THENCE South 74°01'25" West, along and with said north right-of-way, a distance of 90.34 feet;

THENCE South 60°16'12" West, continuing along and with said north right-of-way, a distance of 239.65 feet;

THENCE North 81°09'37" West, departing said north right-of-way, a distance of 522.42 feet;

THENCE South 89°48'10" West, a distance of 199.78 feet to a point on the west line of Lot 10 in Block 2 of WILDEWOOD PROFESSIONAL PLAZA, said point also lying the east right-of-way of Wildewood Plaza;

THENCE along and with the east & north right-of-way of said Wildewood Plaza the following 5 courses:

1. along a non-tangent curve to the left having a radius of 75.00 feet, a chord bearing of North 42°34'25" West, a chord distance of 97.11 feet and an arc length of 105.63 feet;
2. North 82°54'56" West, a distance of 98.64 feet;
3. along a curve to the left having a radius of 435.20 feet, a chord bearing of North 87°05'56" West, a chord distance of 63.48 feet and an arc length of 63.54 feet;
4. South 88°43'07" West, a distance of 95.00 feet;
5. along a curve to the left having a radius of 75.00 feet, a chord bearing of South

75°20'04" West, a chord distance of 34.72 feet and an arc length of 35.04 feet to the southeasterly corner of Lot 4 in said Block 2;

THENCE North 28°03'25" West, along and with the east line of said Lot 4, a distance of 74.11 feet;

THENCE South 88°43'08" West, departing said east line, a distance of 79.70 feet to a point on the west line of said Lot 4;

THENCE South 00°07'18" East, along and with the west line of said Lot 4, a distance of 103.12 feet to the southwest corner of said Lot 4;

THENCE North 59°59'55" West, along and with the northeasterly line of Lots 5 and 4 in Block 5 of WILDEWOOD HILLS ADDITION, a distance of 201.14 feet to the southeast corner of Lot 2 in said Block 5;

THENCE North 00°06'53" West, along and with the east line of Lots 2 and 1 in said Block 5 and Lots 14 and 13 in Block 6 of said WILDEWOOD HILLS ADDITION, a distance of 384.30 feet to the southwest corner of Lot 10 in Block 13 of WILDEWOOD HILLS ADDITION SECTION 3;

THENCE North 89°23'29" East, along and with the south line of said Lot 10, a distance of 94.48 feet to the southeast corner of said Lot 10;

THENCE North 31°50'13" East, along and with the easterly line of said Lot 10, a distance of 154.81 feet to the easterly northeast corner of said Lot 10, said point also being on the south right-of-way of N.E. 58th Street;

THENCE along the south right-of-way of N.E. 58th Street on a non-tangent curve to the left having a radius of 73.99 feet, a chord bearing of South 82°00'30" East, a chord distance of 23.85 feet and an arc length of 23.95 feet to a point on the north line of Lot 11 in said Block 13;

THENCE North 88°43'07" East, along and with said north line of Lot 11 extended, a distance of 116.36 feet;

THENCE North 01°16'53" West, departing said north line extended, a distance of 50.00 feet to the southwest corner of vacated Lot 14 in Block 14 of said WILDEWOOD HILLS ADDITION SECTION 3;

THENCE North 00°06'53" West, along and with the west line of said vacated Lot 14, a distance of 145.00 feet to the northwest corner of said vacated Lot 14;

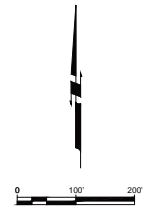
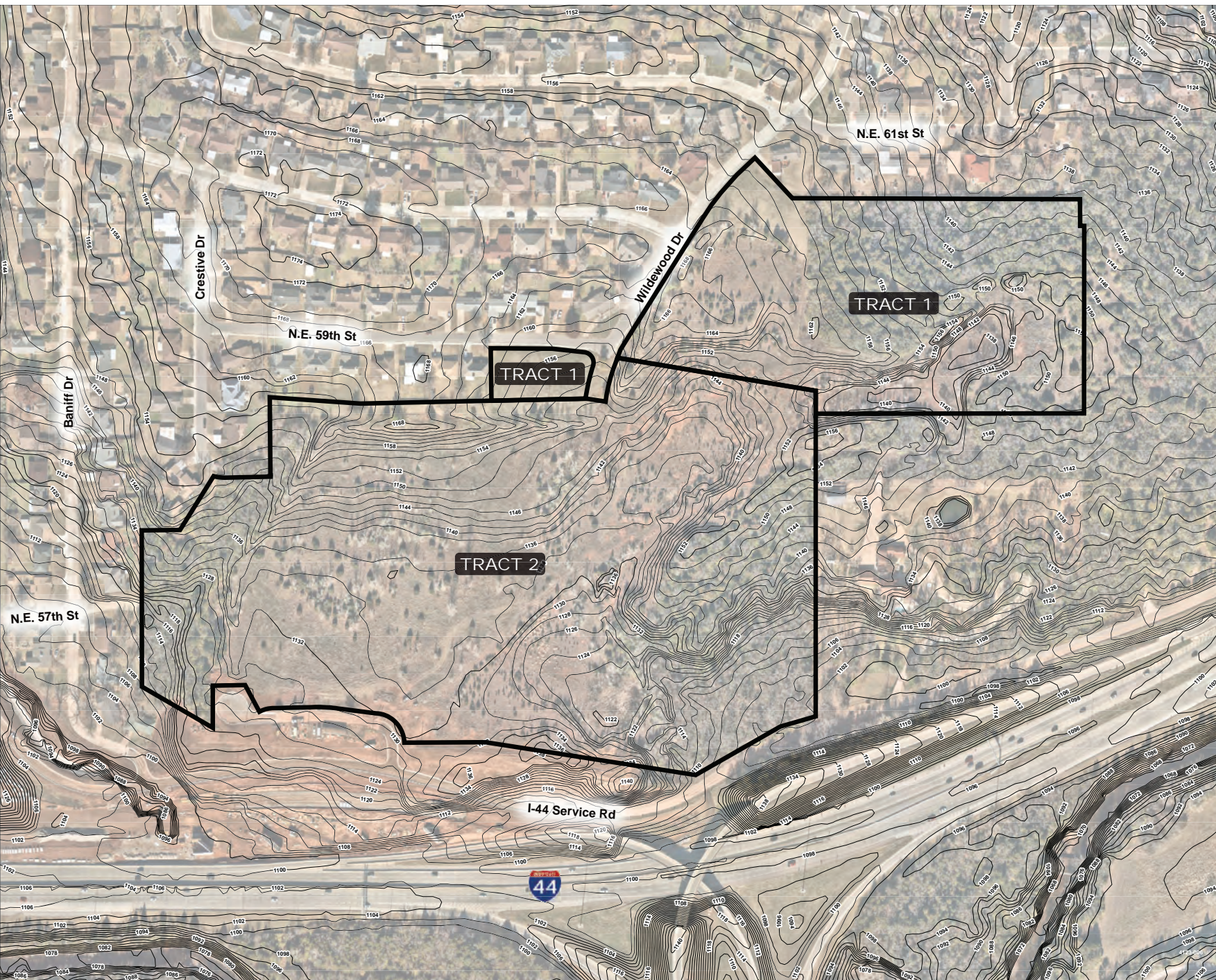
THENCE South 86°03'18" East, along and with the north line of vacated Lots 14, 15 and 16 in said Block 14, a distance of 222.97 feet to the northeast corner of vacated Lot 16 in said Block 14;

THENCE North 88°43'08" East, along and with the north line of Lots 17, 18, 19, 20, 21, 22 and 23, a distance of 553.06 feet to the POINT OF BEGINNING.

Containing 1,309,580 square feet or 30.0638 acres, more or less.



Basis of Bearing: Oklahoma State Plane Coordinate System (North Zone, NAD83) using a bearing of N 88°43'08" E along the south line of Lots 1 through 7 in Block 14, WILDEWOOD HILLS ADDITION SECTION 3. All Distances are grid distances in U.S. Survey Feet.



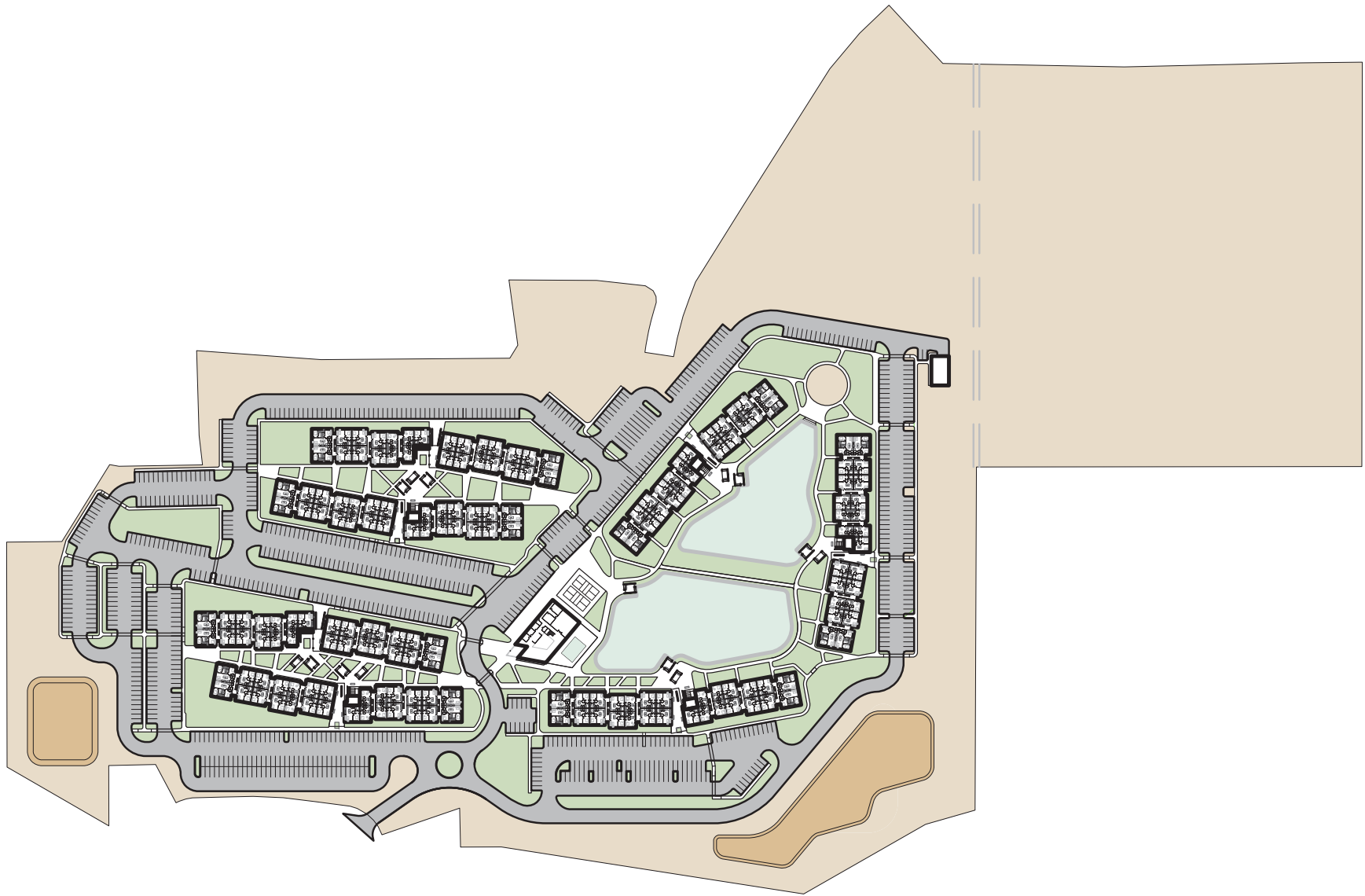
**PUD-\_\_\_\_\_**  
**The Corridor Project**

Exhibit B  
 Tract Map



Johnson & Associates  
 1 E. Sheridan Ave., Suite 200  
 Oklahoma City, OK 73104  
 (405) 233-2222 FAX (405) 233-2225

ENGINEERS SURVEYORS PLANNERS



**EXHIBIT C**  
THE CORRIDOR | SITE PLAN | SCALE 1:2000  
2024.01.09