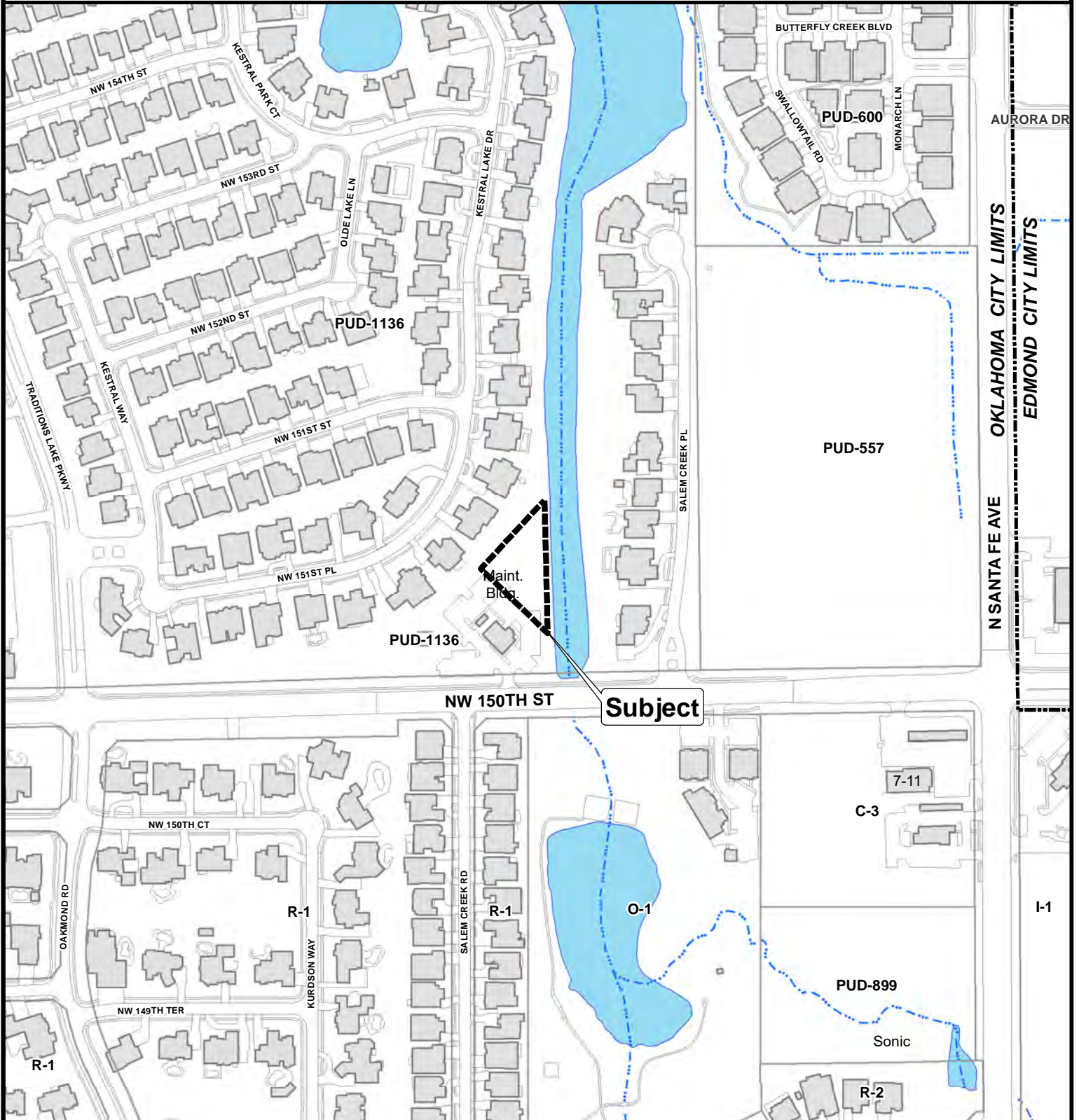


Case No: SPUD-1672

Applicant: James Investment Properties, LLC

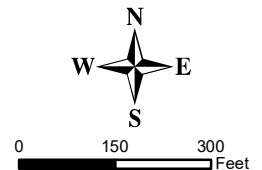
Existing Zoning: PUD-1136

Location: 217 NW 150th St.



The City of OKLAHOMA CITY

# Simplified Planned Unit Development



THE CITY OF OKLAHOMA CITY  
SIMPLIFIED PLANNED UNIT DEVELOPMENT

**SPUD-\_\_\_\_\_**

**MASTER DESIGN STATEMENT FOR**

**217 NW 150<sup>th</sup> St.**

**August 28, 2024**

**PREPARED BY:**

WILLIAMS, BOX, FORSHEE & BULLARD P.C.

David Box

522 Colcord Drive

Oklahoma City, OK 73102

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## **SPUD- MASTER DESIGN STATEMENT**

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

### **I. Special Development Regulations:**

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those that are in effect at the time of development of this Simplified Planned Unit Development; provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

1. This site will be developed in accordance with the regulation of the **O-2 General Office District** (OKC Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

In addition to the uses permitted in the O-2 District, the following uses shall also be permitted on this site:

8300.14	Automotive and Equipment: Cleaning and Repairs, Light Equipment
8300.21	Automotive and Equipment: Storage
8300.60	Personal Storage

2. **Maximum Building Height:**

The maximum building height shall be in accordance with the base zoning district.

3. **Maximum Building Size:**

The maximum building size shall be 5,000 square feet.

4. **Maximum Number of Buildings:**

The maximum number of buildings shall be in accordance with the base zoning district.

**5. Building Setback Lines**

Northwest: 15 feet  
East: 15 feet  
Southwest: 25 feet

**6. Sight-Proof Screening:**

Sight-proof screening shall be in accordance with the base zoning district.

**7. Landscaping:**

The subject parcel shall meet all requirements of the City of Oklahoma City’s Landscaping Ordinance in place at the time of development.

**8. Signs:**

**8.1 Freestanding Accessory Signs**

Freestanding signs will be in accordance with the base zoning district regulations.

**8.2 Attached Signs**

Attached signs will be in accordance with the base zoning district regulations.

**8.3 Non-Accessory Signs**

Non-accessory signs will be prohibited.

**8.4 Electronic Message Display Signs**

Electronic Message Display signs will be prohibited.

**9. Access:**

Access shall be taken from the existing access drive off of NW 150<sup>th</sup> St.

**10. Sidewalks**

The existing sidewalk along NW 150<sup>th</sup> St. shall be permitted to remain and deemed to conform to applicable regulations.

**II. Other Development Regulations:**

**1. Architecture:**

Exterior building wall finish on all main structures, exclusive of windows and doors, shall consist of brick veneer, rock or stone masonry, stucco, and cementitious siding (including, but not limited to, the brand commonly known as James Hardie). Exposed metal or exposed concrete block buildings shall not be permitted.

**2. Open Space:**

N/A.

**3. Street Improvements:**

N/A.

**4. Site Lighting:**

The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

**5. Dumpsters:**

Dumpsters shall be located within an area screened by a fence or masonry wall of sufficient height that screens the dumpster from public streets and residences and shall be placed no closer than 50 feet from all property lines adjacent to residential zoning district or use.

Trash collection facilities in this SPUD shall be in accordance with Chapter 49 of the Oklahoma City Municipal Code, 2020, as amended.

**6. Parking:**

The design and number of all parking facilities in this SPUD shall be in accordance with Chapter 59, Article X of the Oklahoma City Municipal Code, 2020, as amended, except there shall be a maximum of six (6) parking spaces.

**7. Maintenance:**

Maintenance of the common areas in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.

**8. Drainage:**

Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.

**III. Supporting Documents**

Exhibit A: Legal Description

Exhibit B: Conceptual Site Plan

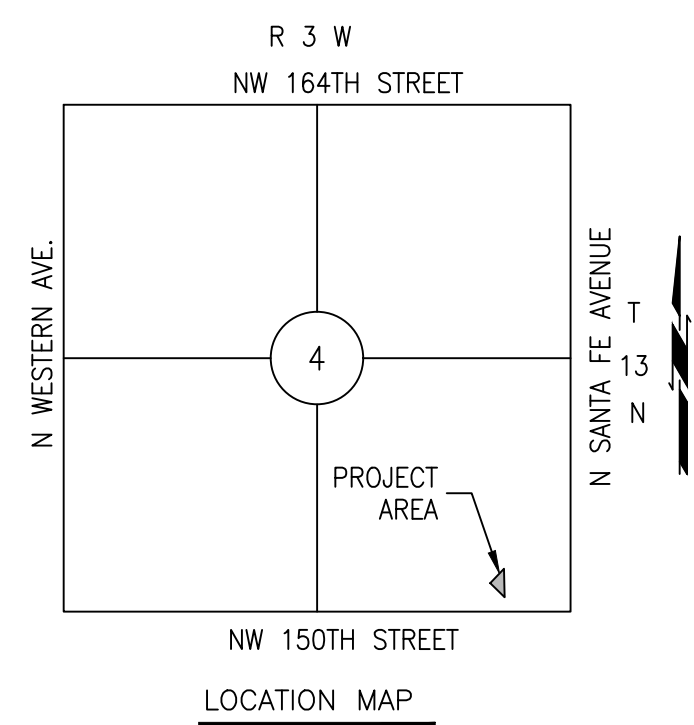
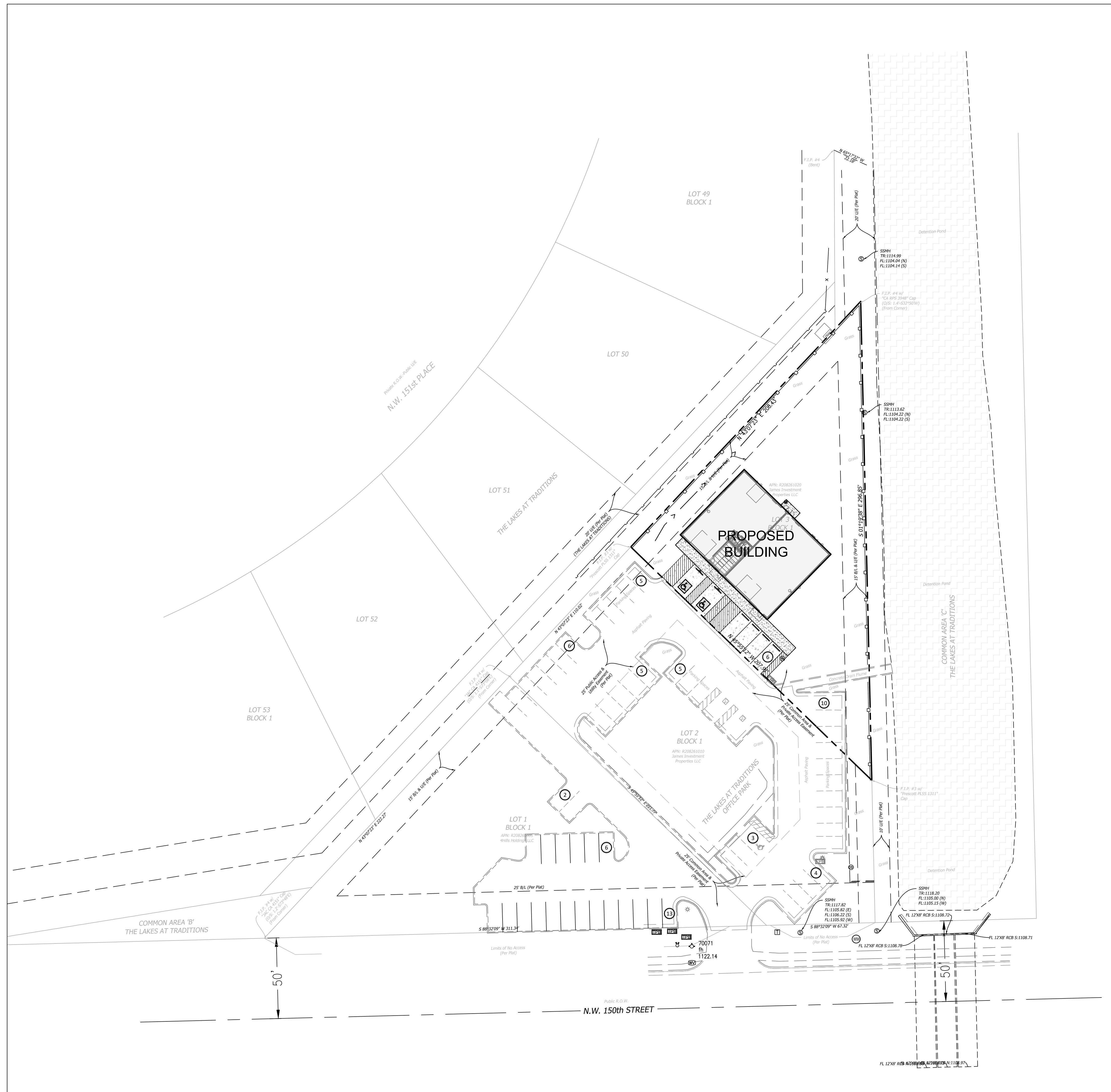
Exhibit C: Topographic Survey

Exhibit A  
Legal Description

Lot Three (3), Block One (1) of THE LAKES AT TRADITIONS-OFFICE PARK, being a part of the SE ¼ of section 4, Township 13 North, Range 3 West of the Indian Meridian, Oklahoma City, Oklahoma, according to the recorded Plat thereof. Recorded in Document No. 2007104787; Book 65, Pages 30-31, Official office of the Oklahoma County Clerk, State of Oklahoma.

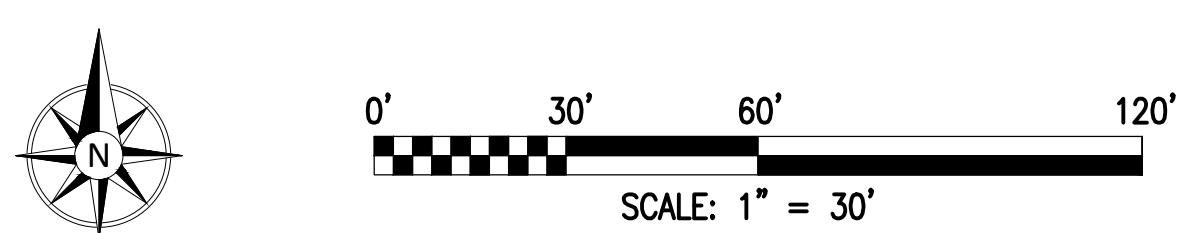
Containing 21,664+/- Sq. Ft. or 0.4973+/- Acres or less.





PARKING TABLE

STANDARD PARKING SPACE 9'x18'	60
ADA PARKING SPACE 11'x18'	5
TOTAL	65



**UTILITY WARNING:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM RECORD DOCUMENTS OR FIELD LOCATIONS BY THE OPERATOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

UTILITY ELEVATIONS AND SIZES MAY HAVE BEEN MEASURED UNDER ADVERSE FIELD CONDITIONS. UPON EXPOSING THE UTILITY, ELEVATIONS AND LINE SIZES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHOULD VERIFY CRITICAL ELEVATIONS USING THE BENCHMARK PROVIDED BY THE SURVEYOR OR ENGINEER. ANY DISCREPANCIES SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEER'S AND SURVEYOR'S ATTENTION.



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**JAMES INVESTMENT  
 PROPERTIES OFFICE RETAIL**  
 Oklahoma City, Oklahoma

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Project Number:  
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Seal:

BRYAN W. RICHARDS, P.E.  
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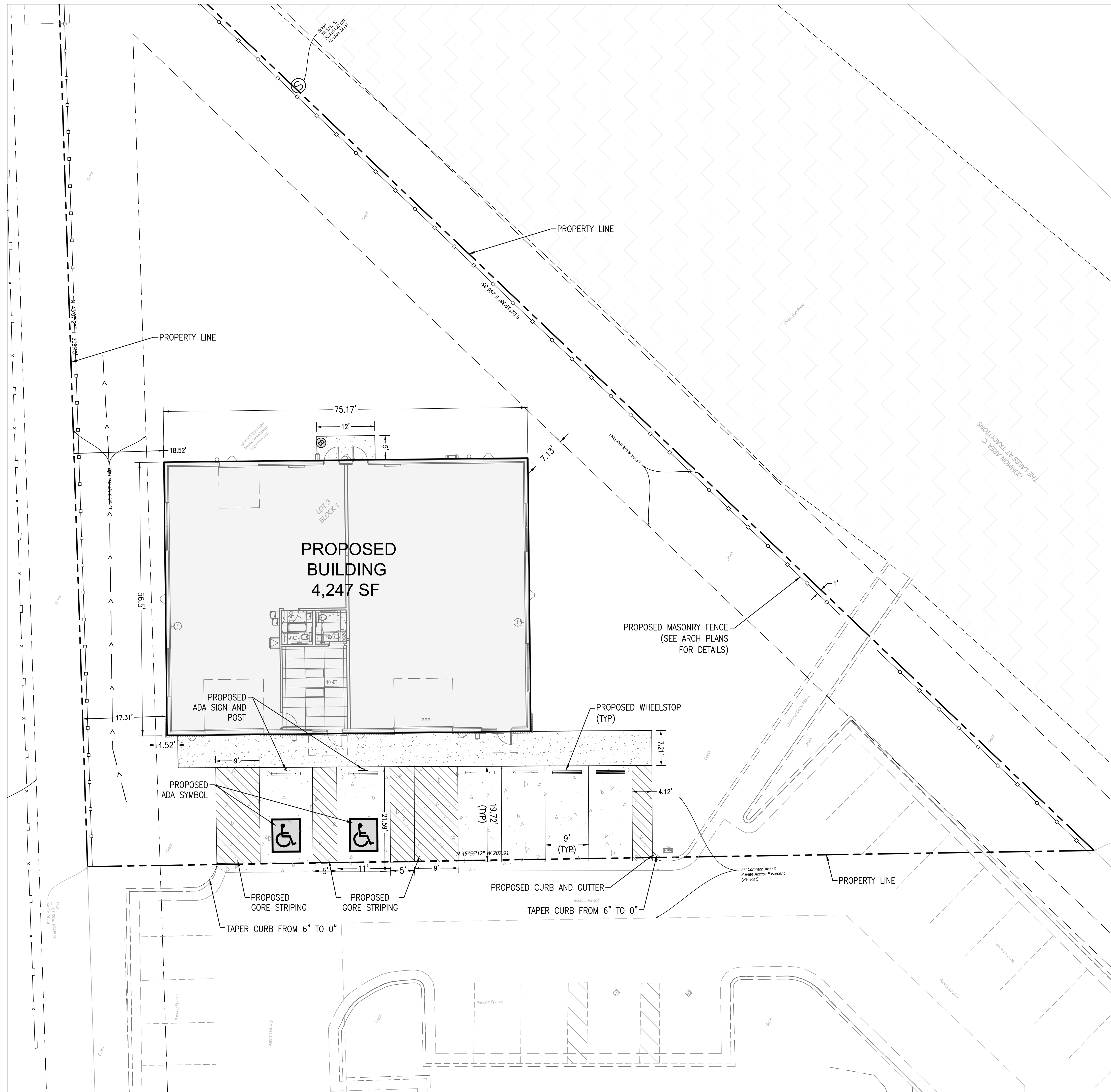
Revisions:

Sheet Title:  
**OVERALL SITE PLAN**

Sheet Number:  
**C1.0**

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GENERAL CONSTRUCTION NOTES

1. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE CITY OF OKLAHOMA CITY "STANDARDS AND SPECIFICATIONS" AND THE "SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS".
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WHO MIGHT HAVE UTILITY LINES ON OR ABOUT THE PREMISES, OR WHO MIGHT BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE HIS ACTIVITIES WITH THE UTILITY COMPANIES TO ENSURE COMPLIANCE WITH THE PROJECT SCHEDULE. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO LOCATE AND PROTECT EXISTING UTILITY LINES, AND SHALL REPAIR ANY DAMAGES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
4. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
5. ALL PAVEMENT STRIPING SHALL BE APPLIED IN TWO COATS, FOUR (4) INCHES WIDE, WHITE COLOR UNLESS SHOWN OTHERWISE ON THE PLANS.
6. IN DRIVE AND PARKING AREAS WHERE NEW CONCRETE PAVING IS TO ABUT EXISTING PAVING, THE CONTRACTOR SHALL CONSTRUCT A 10" THICKENED EDGE IN THE CONCRETE.
7. UNLESS OTHERWISE DIRECTED THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS, STAIRS AND PAVED SURFACES (REFER TO ARCHITECTURAL PLANS & SPECS. FOR SIDEWALK FINISH AROUND BUILDING)
8. THE CONTRACTOR MUST FILE A "NOTICE OF INTENT" WITH THE OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY AND THE CITY OF OKLAHOMA CITY, PRIOR TO COMMENCING EARTHWORK, CLEARING OR DEMOLITION OPERATIONS.
9. REFER TO ARCHITECTURAL PLANS AND SPECS. FOR CONSTRUCTION INFORMATION AND DETAILS FOR BUILDING ERECTION.
10. ANY AND ALL QUANTITIES SHOWN ARE FOR REFERENCE ONLY AND HAVE BEEN CALCULATED FOR MUNICIPAL OR OWNER PLANNING PURPOSES ONLY. THE CONTRACTOR(S) IS RESPONSIBLE TO VERIFY ALL QUANTITIES AND CONSTRUCT AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS. PRICE BID SHALL INCLUDE ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO CONSTRUCT AND FURNISH A FULLY FUNCTIONAL AND COMPLETE SITE.
11. THE CONTRACTOR SHALL VERIFY AND COORDINATE WITH THE ARCHITECTURAL AND LANDSCAPE ARCHITECT PLANS FOR THE RETAINING WALL STYLE AND FINISH.
12. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECTURAL AND LANDSCAPE ARCHITECTURAL PLANS FOR SITE AMENITIES, LANDSCAPE AREAS, PAVERS AND SPECIAL SIDEWALK FINISHES.
13. THE CONTRACTOR SHALL OBTAIN A COPY OF THE OKC APPROVED WA, SD, AND DP PLANS FOR COORDINATION OF ALL WORK WITHIN THE PUBLIC R-O-W OR UTILITY EXTENSIONS.
14. CONTRACTOR SHALL FIELD VERIFY NEW SIDEWALKS ALIGN WITH EXISTING BUILDING DOORWAYS.

LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED WHEELSTOP

**UTILITY WARNING:**  
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UTILITY ELEVATIONS AND SIZES MAY HAVE BEEN MEASURED UNDER ADVERSE FIELD CONDITIONS. UPON EXPOSING THE UTILITY, ELEVATIONS AND LINE SIZES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHOULD VERIFY CRITICAL ELEVATIONS USING THE BENCHMARK PROVIDED BY THE SURVEYOR OR ENGINEER. ANY DISCREPANCIES SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEER'S AND SURVEYOR'S ATTENTION.



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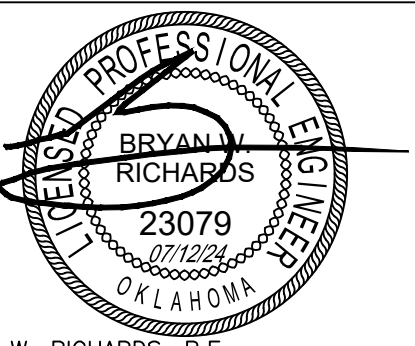
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**JAMES INVESTMENT  
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Seal:



BRYAN W. RICHARDS, P.E.  
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Revisions:

Sheet Title:

SITE PLAN

Sheet Number:

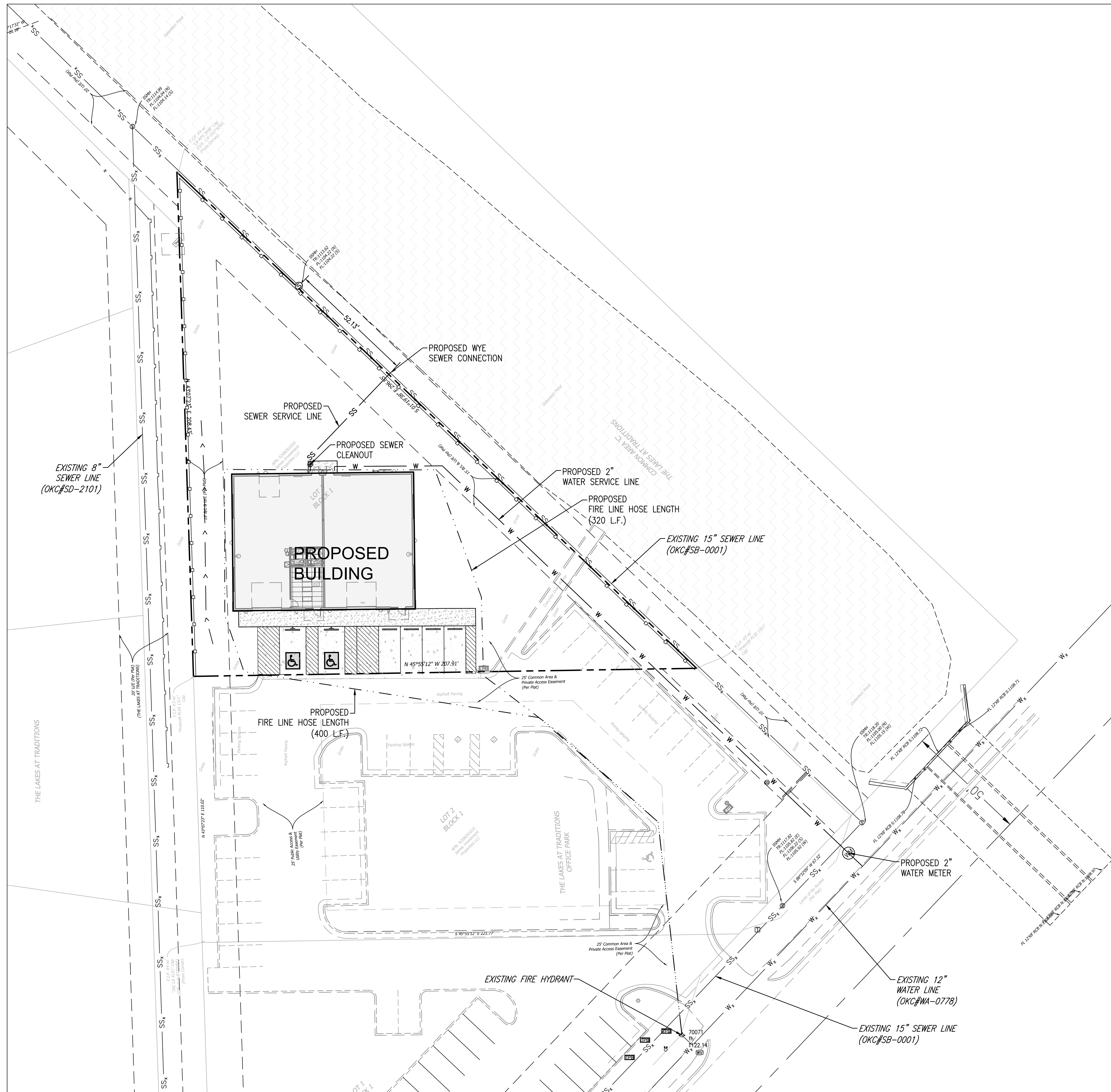
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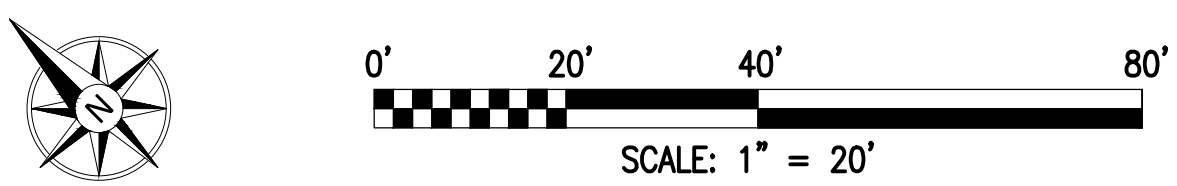


**GENERAL UTILITY NOTES**

- CONTRACTOR SHALL COORDINATE WITH THE CITY FOR ALL INTERCONNECTIONS TO PUBLIC UTILITIES.
- CONTRACTOR SHALL CALL ONE PRIOR TO ANY CONSTRUCTION ACTIVITIES. CALL ONE PRIOR TO DIGGING: 840-5032 / 1-800-522-6543. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- CONTRACTOR SHALL VERIFY ALL UTILITY CONNECTIONS TO THE BUILDING(S) WITH THE M.E.P. PLANS.
- UNLESS OTHERWISE NOTED, PIPE 3 INCHES AND SMALLER SHALL BE PEX STYLE OR PVC WATER PIPE.
- ALL VALVES, MANHOLE LIDS, AND SEWER CLEAN-OUTS LOCATED IN PAVED AREAS, SHALL BE RATED FOR H-20 TRAFFIC LOADING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ELEVATIONS AND ADJUSTING ALL COVERS AND LIDS IN PAVED AREAS TO FINISHED GRADE. ALL FIELD ADJUSTMENTS SHALL BE NOTED AND BROUGHT TO ENGINEER'S ATTENTION FOR APPROVAL.
- CONTRACTOR SHALL RAISE OR LOWER ALL EXISTING VALVE BOXES AND COVERS, FIRE HYDRANTS, MANHOLES, METER BOXES, TRAFFIC BOXES, AND OTHER UTILITIES TO MEET THE SPECIFICATIONS OF EACH UTILITY COMPANY RESPECTIVELY.
- ALL 4" SANITARY SEWER SERVICE LINES SHALL HAVE A MINIMUM 2.00% SLOPE WITH CLEANOUTS SET AT 100' ON CENTER. 6" SERVICE LINES SHALL HAVE A MINIMUM 1.00% SLOPE. SEWER PIPE SHALL BE PVC MATERIAL.
- CONTRACTOR SHALL PROVIDE IRRIGATION CONDUIT AND LIGHTING AS NEEDED. REFER TO LANDSCAPE ARCHITECTURAL PLANS AND MEP PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH STATE LAWS AND FEDERAL REGULATIONS RELATING TO TRENCH SAFETY, INCLUDING THOSE WHICH MAY BE ENACTED DURING THE PERFORMANCE UNDER THIS CONTRACT. CONTRACTOR IS ADVISED THAT FEDERAL REGULATIONS 29 C.F.R. 1926.650-1926.652 HAVE BEEN, IN THEIR MOST RECENT VERSION AS AMENDED, IN EFFECT SINCE JANUARY 2, 1991. CONTRACTOR SHALL FULLY COMPLY WITH THE U.S. DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS PERTAINING TO EXCAVATIONS, TRENCHING, AND SHORING AND SHALL PROVIDE AND FAMILIARIZE ITS EMPLOYEES INVOLVED IN EXCAVATION AND TRENCHING WITH THE PROVISIONS IN OSHA PAMPHLET NUMBER 2225, EXCAVATING AND TRENCHING OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE SUFFICIENT WORKERS, MATERIAL, AND EQUIPMENT TO COMPLETE ALL UTILITY CONNECTIONS IN THE ALLOTTED TIME. THE CONTRACTOR SHALL COORDINATE THE CONNECTION BETWEEN THE NEW AND EXISTING CITY MAINS WITH THE CITY AND ALL OTHER PARTIES AFFECTED BY THE DISRUPTION. THE CONNECTIONS SHALL BE MADE AT A TIME AGREEABLE TO THE CITY AND ALL AFFECTED PARTIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMIT APPLICATION AND COORDINATION WITH THE CITY. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES.
- THE EXISTING UTILITIES SHALL BE EXPOSED PRIOR TO THE WORK IN ORDER TO VERIFY DEPTH AND SIZE.
- THERE SHALL BE A MINIMUM DEPTH OF BURY OF 36-INCHES FOR PROPOSED PRIVATE WATER LINES.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL FITTINGS, BENDS, RESTRAINED JOINTS, THRUST BLOCKS, PIPES, VALVES, LABOR, MATERIAL, AND EQUIPMENT TO INSTALL A COMPLETE OPERATIONAL PRIVATE WATER SYSTEM. THIS INCLUDES ALL DOMESTIC WATER, FIRE WATER AND FROST FREE HAND HYDRANT WATER LINES AND APPEARANCES NEEDED.
- CONTRACTOR TO VERIFY ALL WATER AND SEWER SERVICE LINES AND METER WITH THE MEP PRIOR TO CONSTRUCTION.

**LEGEND**

— W <sub>x</sub> —	EXISTING WATER LINE
⊕	BUILDING HOSE BIB
⊕	EXISTING FIRE HYDRANT
— SS <sub>x</sub> —	EXISTING SANITARY SEWER LINE
⊙	EXISTING SANITARY SEWER MANHOLE
— OH <sub>x</sub> —	EXISTING OVERHEAD ELECTRIC LINE
— NG <sub>x</sub> —	EXISTING NATURAL GAS LINE
— TUG <sub>x</sub> —	EXISTING COMMUNICATIONS
— W —	PROPOSED WATER/FIRE LINE
— SS —	PROPOSED SANITARY SEWER
⊙	PROPOSED SANITARY SEWER CLEAN OUT
— G —	PROPOSED NATURAL GAS
— PUG —	PROPOSED ELECTRIC
— SD —	PROPOSED STORM DRAIN LINE
⊕	PROPOSED GAS METER
⊕	PROPOSED 2" DOMESTIC WATER METER
⊕	PROPOSED 2" RESIDENTIAL FIRE METER
⊕	PROPOSED FROST FREE HAND HYDRANT
⊕	PROPOSED TEE & GATE VALVE ASSEMBLY
⊕	PROPOSED BEND/FITTING



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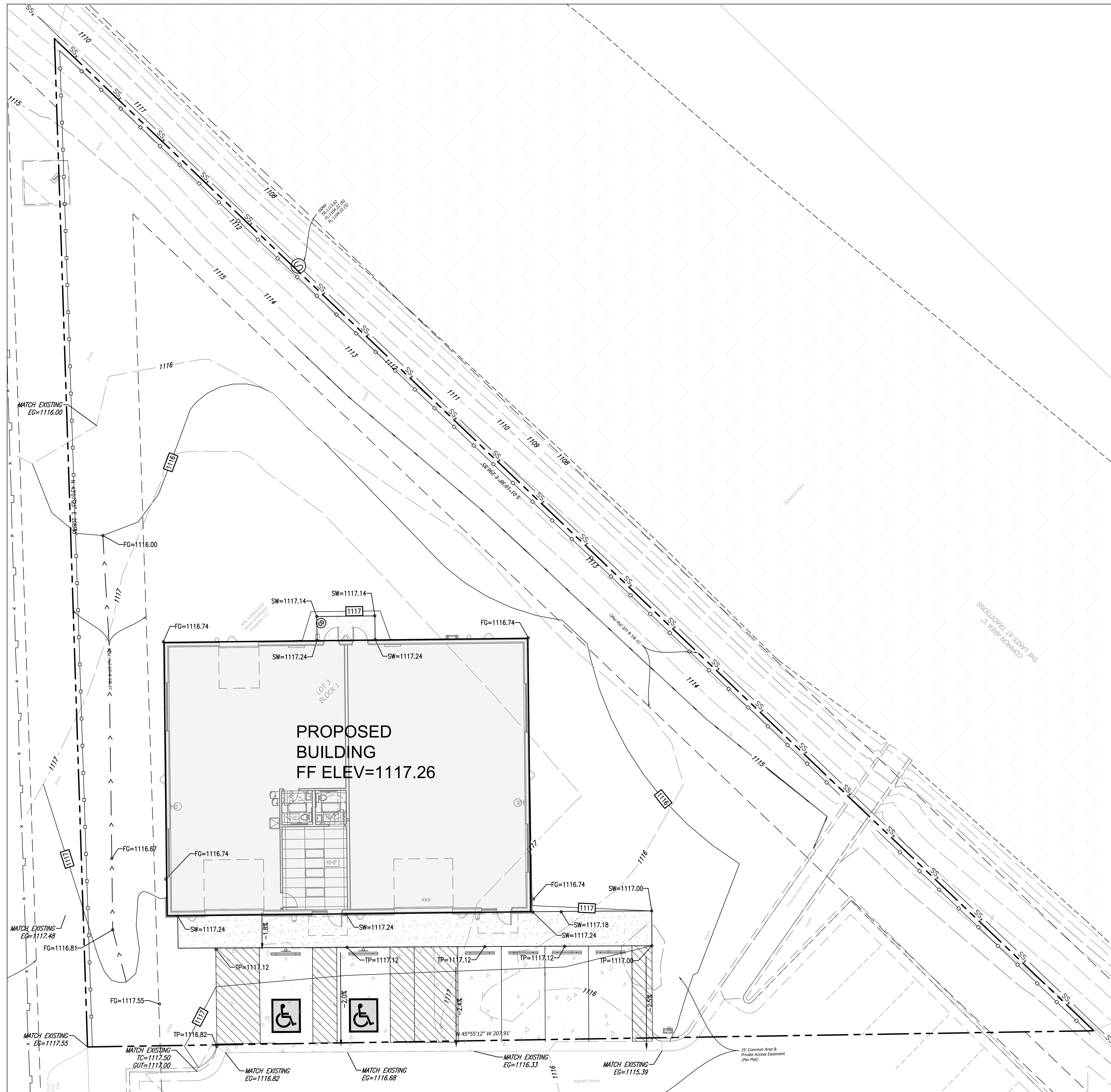
UTILITY PLAN

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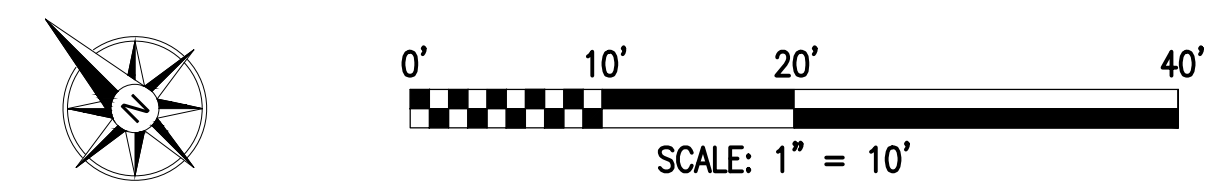




- GENERAL GRADING NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WHO MIGHT HAVE UTILITY LINES ON OR ABOUT THE PREMISES, OR WHO MIGHT BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE HIS ACTIVITIES WITH THE UTILITY COMPANIES TO ENSURE COMPLIANCE WITH THE PROJECT SCHEDULE. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO LOCATE AND PROTECT EXISTING UTILITY LINES, AND SHALL REPAIR ANY DAMAGES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
  3. PRIOR TO PLACEMENT OF FILL, THE GROUND SHALL BE STRIPPED (6" THICK) OF VEGETATION, SCARIFIED AND RECOMPACTED. FILL SHALL BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS OBTAINED BY THE STANDARD COMPACTION TEST (ASTM D-698). THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND COORDINATE WITH STRUCTURAL ENGINEER FOR ALL SOIL AND PLACEMENT NEAR OR UNDER BUILDING SLAB.
  4. UNLESS OTHERWISE STATED IN THE GENERAL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING. THE RESULTS OF THE TESTS SHALL BE FORWARDED TO THE PROJECT ENGINEER FOR HIS REVIEW AND APPROVAL.
  5. THE CONTRACTOR MUST FILE A "NOTICE OF INTENT" WITH THE OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY AND THE CITY OF OKLAHOMA CITY, PRIOR TO COMMENCING EARTHWORK, CLEARING OR DEMOLITION OPERATIONS.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING THE SILT FENCE BARRIER AROUND THE LIMITS OF CONSTRUCTION AND AS SHOWN ON THE EROSION PLAN, DURING CONSTRUCTION, UNTIL ALL WORK IS COMPLETE AND VEGETATION IS REESTABLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND SUBJECT TO FREQUENT INSPECTION OF ALL METHODS AND MATERIALS FOR EROSION PROTECTION.
  7. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING ALL ISLANDS, BEHIND CURBS AND ALL OTHER AREAS TO BE LANDSCAPED, WITH A MINIMUM 6" DEPTH OF TOPSOIL. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR SEEDING AND/OR SLAB SODDING AS DIRECTED BY THE OWNER.
  8. MAINTENANCE OF SEEDING AND SODDED AREAS SHALL INCLUDE ALL NECESSARY FERTILIZATION AND WATERING UNTIL SUCH TIME AS PROPER VEGETATION AND ROOT GROWTH IS ESTABLISHED.
  9. ALL ADA ACCESSIBLE PARKING STALL AREAS (INCLUDING THE PARKING STALL AND CORE MARKINGS) SHALL BE CONSTRUCTED TO NOT EXCEED 2% CROSS SLOPE IN ANY DIRECTION. ALL ACCESSIBLE SIDEWALKS SHALL BE CONSTRUCTED TO NOT EXCEED A 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE. ALL ADA CURB RAMP SHALL NOT EXCEED 8.33% LONGITUDINAL SLOPE AND A MAXIMUM 6-INCH ELEVATION RISE. IN THE EVENT THAT ANY FIELD CONDITIONS WILL DEVIATE FROM THESE MAXIMUM ALLOWABLE SLOPES / CRITERIA, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ARCHITECT IMMEDIATELY.
  10. SOLID SLAB SOD ALL DISTURBED AREAS.
  11. THE CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECTURAL PLANS FOR FINAL SITE GRADING, PLANTER BEDS, ROCK DRAINAGE AREAS, SITE VEGETATION AND GROUND COVER DETAILS.
  12. MAXIMUM GRADE SLOPE SHALL BE 3:1.
  13. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING ELEVATIONS ALONG ALL PROPERTY LINE TO ENSURE THE PROPOSED GRADING WILL NOT OBSTRUCT THE HISTORIC FLOW OR RUNOFF OR CREATE PONDING AREAS ON ADJACENT PROPERTIES.

**LEGEND**

---	EXISTING CONTOUR (1' INTERVAL)
---	PROPOSED CONTOUR (1' INTERVAL)
---	DRAINAGE FLOW ARROW
GUT	GUTTER
TC	TOP OF CURB
SW	TOP OF SIDEWALK
TW	TOP OF WALL
BW	BOTTOM OF WALL
FL	FLOW LINE ELEVATION
TG	TOP OF GRATE
EG	EXISTING GRADE
FG	FINISH GRADE



**UTILITY WARNING:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM RECORD DOCUMENTS OR FIELD LOCATIONS BY THE OPERATOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

UTILITY ELEVATIONS AND SIZES MAY HAVE BEEN MEASURED UNDER ADVERSE FIELD CONDITIONS. UPON EXPOSING THE UTILITY, ELEVATIONS AND LINE SIZES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHOULD VERIFY CRITICAL ELEVATIONS USING THE BENCHMARK PROVIDED BY THE SURVEYOR OR ENGINEER. ANY DISCREPANCIES SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEER'S AND SURVEYOR'S ATTENTION.



**RED PRAIRIE**  
 DESIGN GROUP

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 Oklahoma City,  
 OK 73156  
 P: 405.606.1023  
 F: 405.608.5992  
 www.redprairiedg.com

**CONTRACTOR MANAGER**  
 Pillar Contracting, Inc.  
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 Oklahoma City, Oklahoma 73132  
 P: 405.721.9992

**CIVIL**  
 BWR Design Group, LLC  
 PO Box 31732  
 Edmond, OK 73003  
 P: 405.---

**STRUCTURAL**  
 SteppesCo Companies  
 3121 S. Air Depot Blvd.  
 Edmond, OK 73013  
 P: 405.412.8884

**JAMES INVESTMENT  
 PROPERTIES OFFICE RETAIL**  
 Oklahoma City, Oklahoma

Owner:  
 Project Number:  
 23005.0  
 Seal:  
  
 BRYAN W. RICHARDS, P.E.  
 Expires: 11/30/2024  
 Date - Issue:  
 07/12/2024

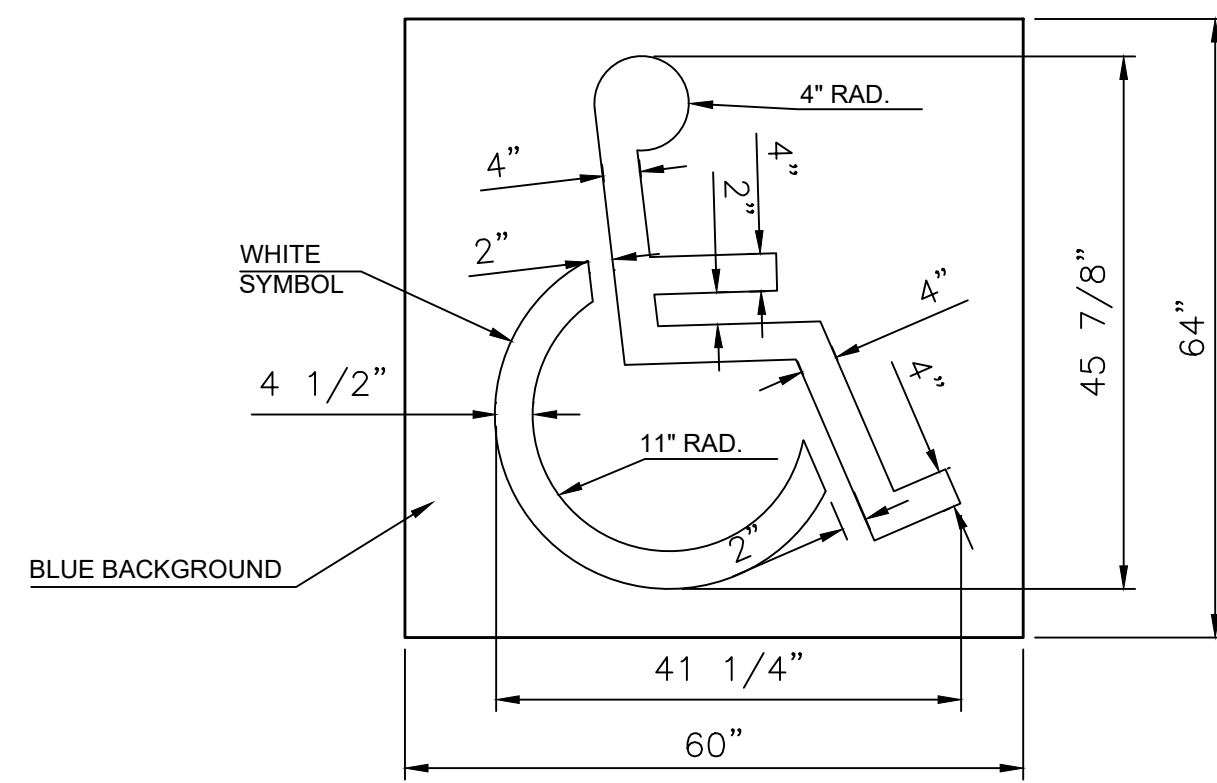
Revisions:  
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Sheet Title:  
**GRADING PLAN**

Sheet Number:  
**C5.0**

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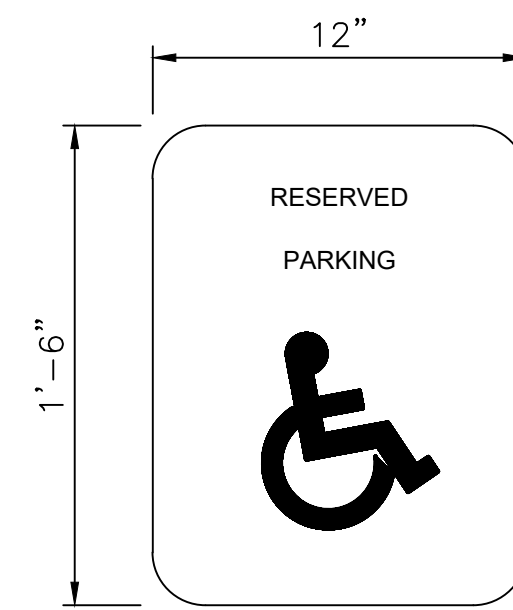


**1** TYPICAL HANDICAP PARKING STRIPING

NOTE: ALL ADA MARKINGS SHALL MEET CURRENT FEDERAL AND LOCAL GUIDELINES

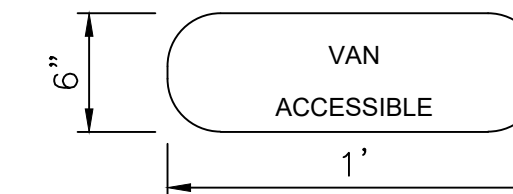
THE CONTRACTOR SHALL OBTAIN CURRENT CITY OF OKLAHOMA CITY STANDARD DRAWING DETAILS FOR THE FOLLOWING ITEMS:

- WATER SERVICE LINE, METER AND DETAILS
- SANITARY SEWER LINE AND DETAILS
- CONCRETE JOINT DETAILS
- ADA RAMP AND SURFACE MATERIALS
- STANDARD DRIVEWAY DETAILS
- CONTRACTOR SHALL PROVIDE PAVEMENT JOINT LAYOUT TO ENGINEER FOR REVIEW AND APPROVAL



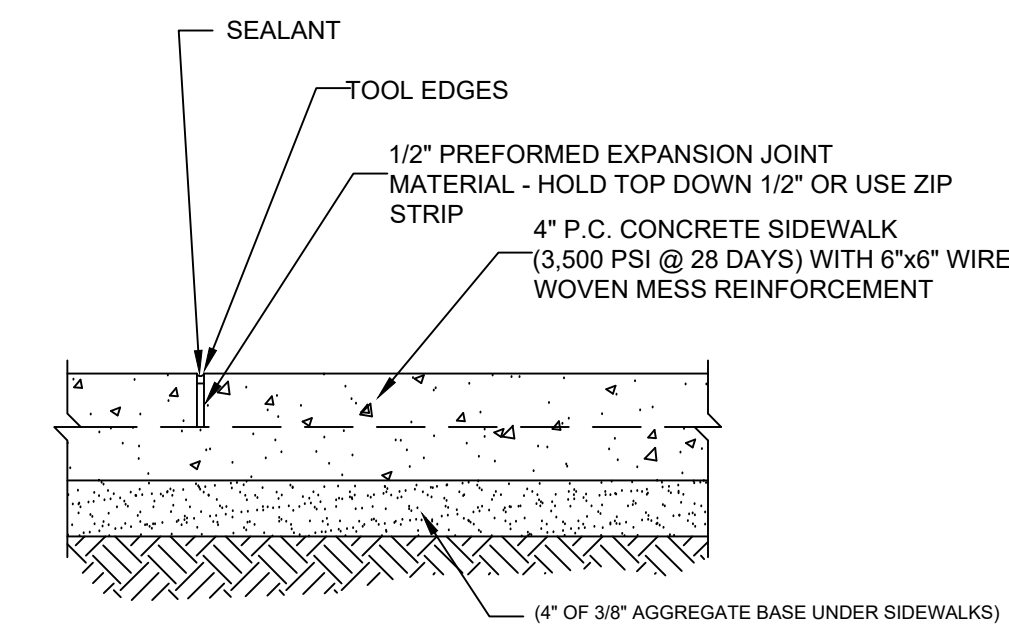
**2** ADA PARKING SPACE SIGN

NOTE: ALL ADA SIGNAGE SHALL MEET CURRENT FEDERAL AND LOCAL GUIDELINES



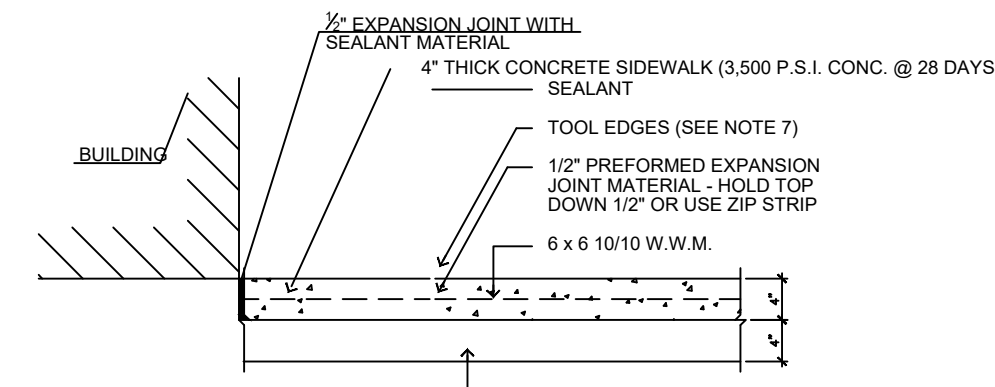
**3** ADA PARKING SPACE SIGN

NOTE: ALL ADA SIGNAGE SHALL MEET CURRENT FEDERAL AND LOCAL GUIDELINES



**4** SIDEWALK DETAIL

NOTE:  
1. SEE CITY STANDARDS FOR ADA RAMP AND TACTILE SURFACING DETAILS.  
2. EXPANSION JOINTS TO BE LOCATED 20' TO 25' ON CENTER THROUGHOUT WALKS AND PATIO.

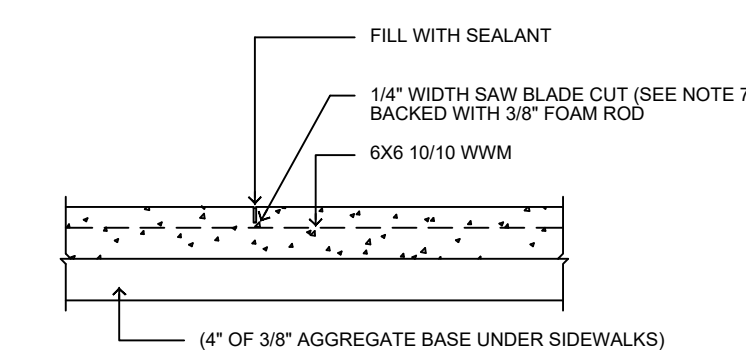


NOTE:  
LOCATE 20' TO 25' O.C. THROUGHOUT WALKS AND PATIO

**5** SIDEWALK EXPANSION JOINT

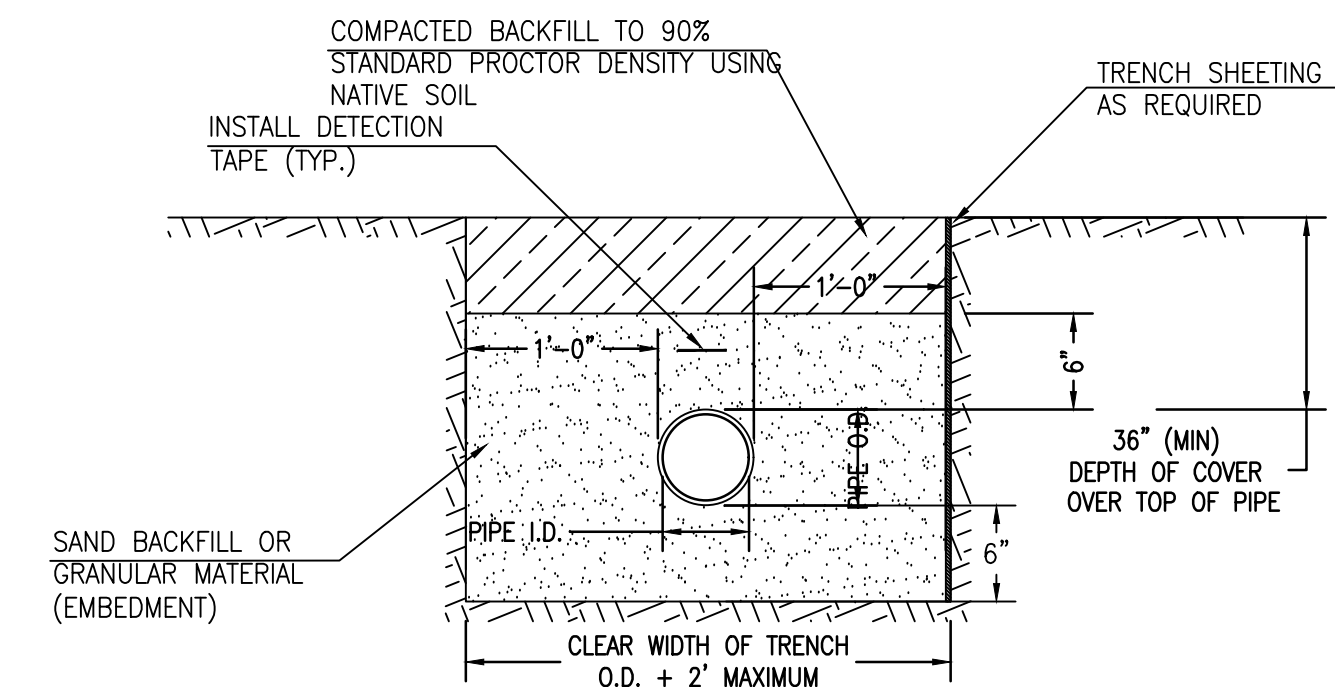
P.C. CONCRETE NOTES:

1. 1/2" x 4" preformed expansion material around structures in walk.
2. Expansion Joints maximum distance = 100', use 1/2" x 4" preformed expansion material.
3. Contraction Joints maximum distance = 7', saw cut 1-1/2" deep and fill with hot poured sealer.
4. Saw cut joints within 24 hours.
5. Use 1/2" x 4" preformed expansion joint at curb.
6. "W" = 60" Minimum - See Plan
7. See Architectural Layout For Joint Layout/Locations



NOTE:  
LOCATE 4' TO 6' O.C. THROUGHOUT WALKS AND PATIO

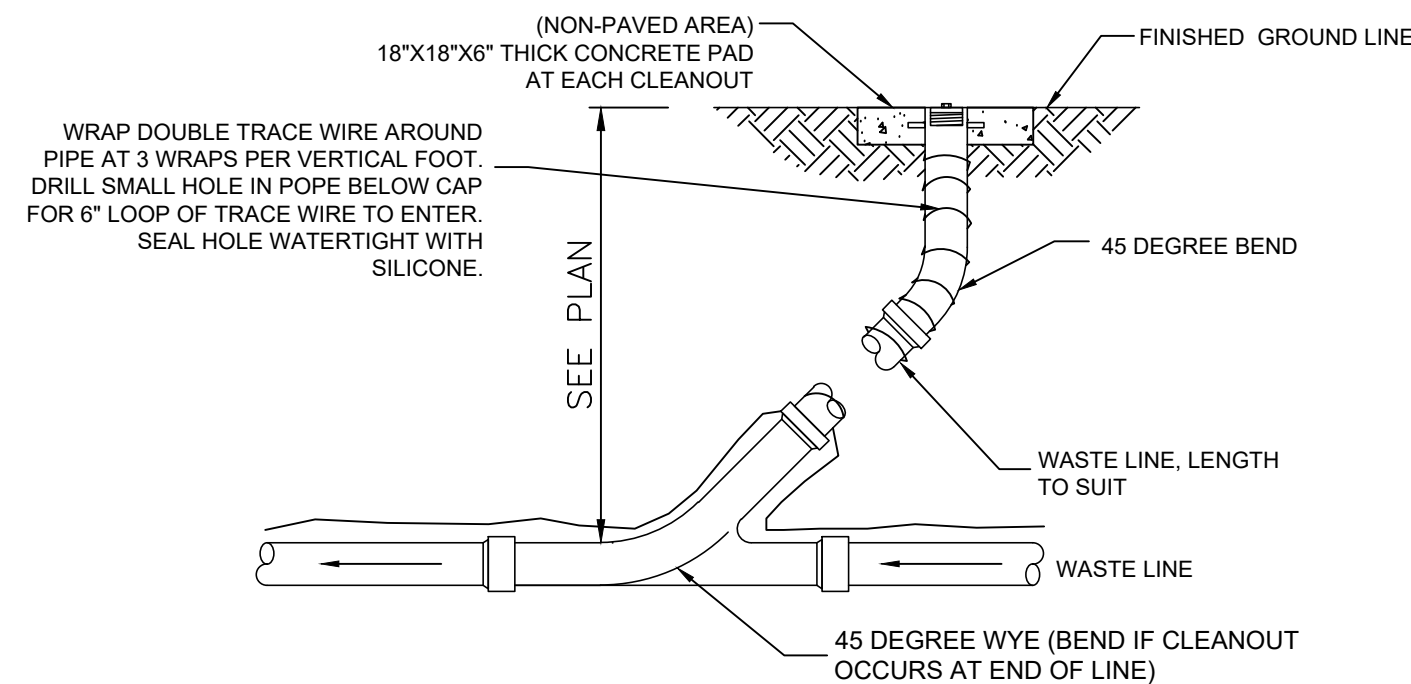
**6** SIDEWALK SAW CONTROL JOINT



**7** PRIVATE PVC TRENCH DETAILS

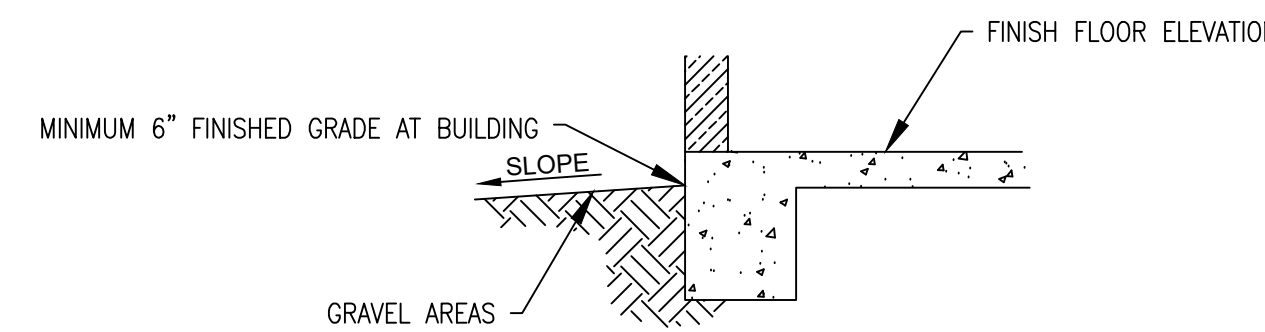
PVC Pipe notes:

1. Pipe - PVC pressure pipe shall be AWWA C-900, Pressure Class 200 and with a minimum Dimension Ratio of fourteen (DR-14).
2. Fittings - Fittings shall be mechanical joint type as specified under ductile iron fittings. All fittings shall have polyethylene encasement tubing with a thickness of 8 Mil.
3. Tracer Wire (Conductor) - Install one (1) strand of number twelve (12) gauge copper tracer wire along top of all PVC piping. Bring to top of ground and anchor oil valves, fire hydrants, and other appurtenances.
4. Joint Restraints block or mechanical joint restraint for AWWA C-900. Joint restraints shall be manufactured by Eba Iron Sales, Inc., or Uni-Flange by The Ford Meter Box Co., Inc., or approved equal.
5. Water Service Connections stainless steel saddle and gasket.
6. All bends require concrete thrust block or approved restrained joint pipe.

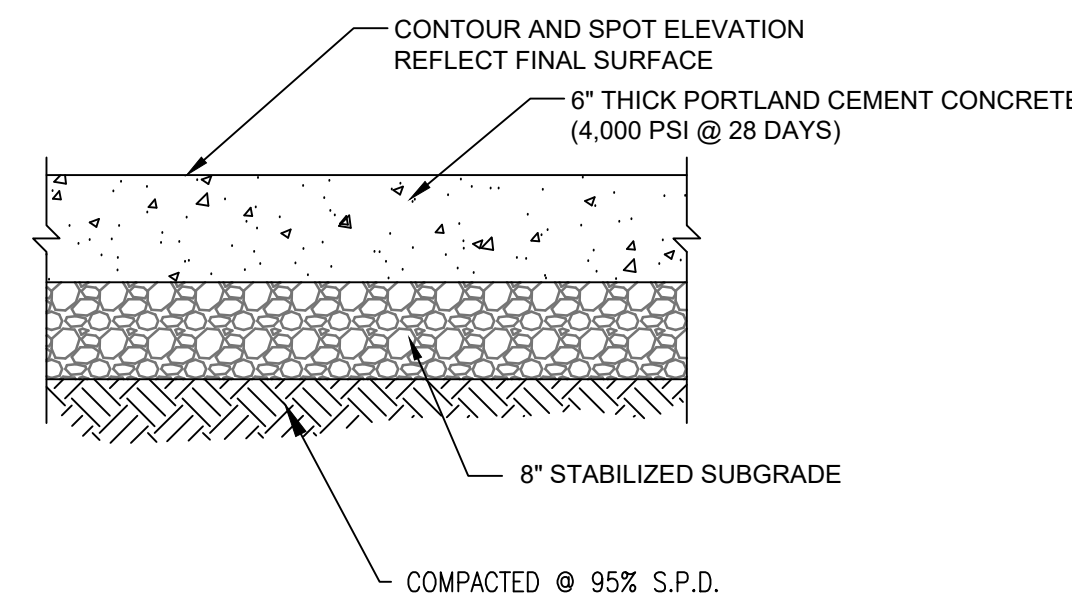


**8** SANITARY SEWER CLEAN OUT DETAIL

NOTE:  
1. LIDS IN TRAFFIC AREAS SHALL BE H-20 RATED

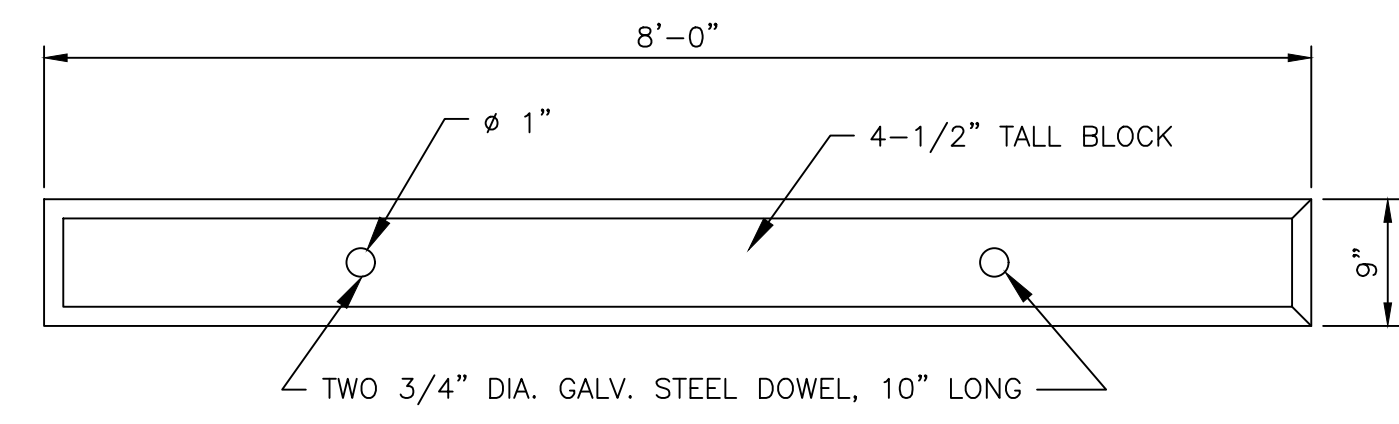


**9** GRADING ADJACENT TO BUILDING (NON PAVED AREAS)



**10** LIGHT DUTY CONCRETE

NOTE:  
1. ALL PAVEMENT AND SUBGRADE RECOMMENDATIONS PROVIDED ARE FROM THE GEOTECHNICAL ENGINEERS REPORT PROVIDED.  
2. THE CONTRACTOR SHALL SUBMIT A JOINT LAYOUT PLAN TO THE ENGINEER TO REVIEW AND APPROVE.



**11** PRE-CAST CONCRETE WHEEL STOP

N.T.S.

Owner:

Project Number:  
23005.0

Seal:



BRYAN W. RICHARDS, P.E.  
Expires: 11/30/2024

Date - Issue:

07/12/2024

Revisions:

Sheet Title:

CIVIL DETAILS

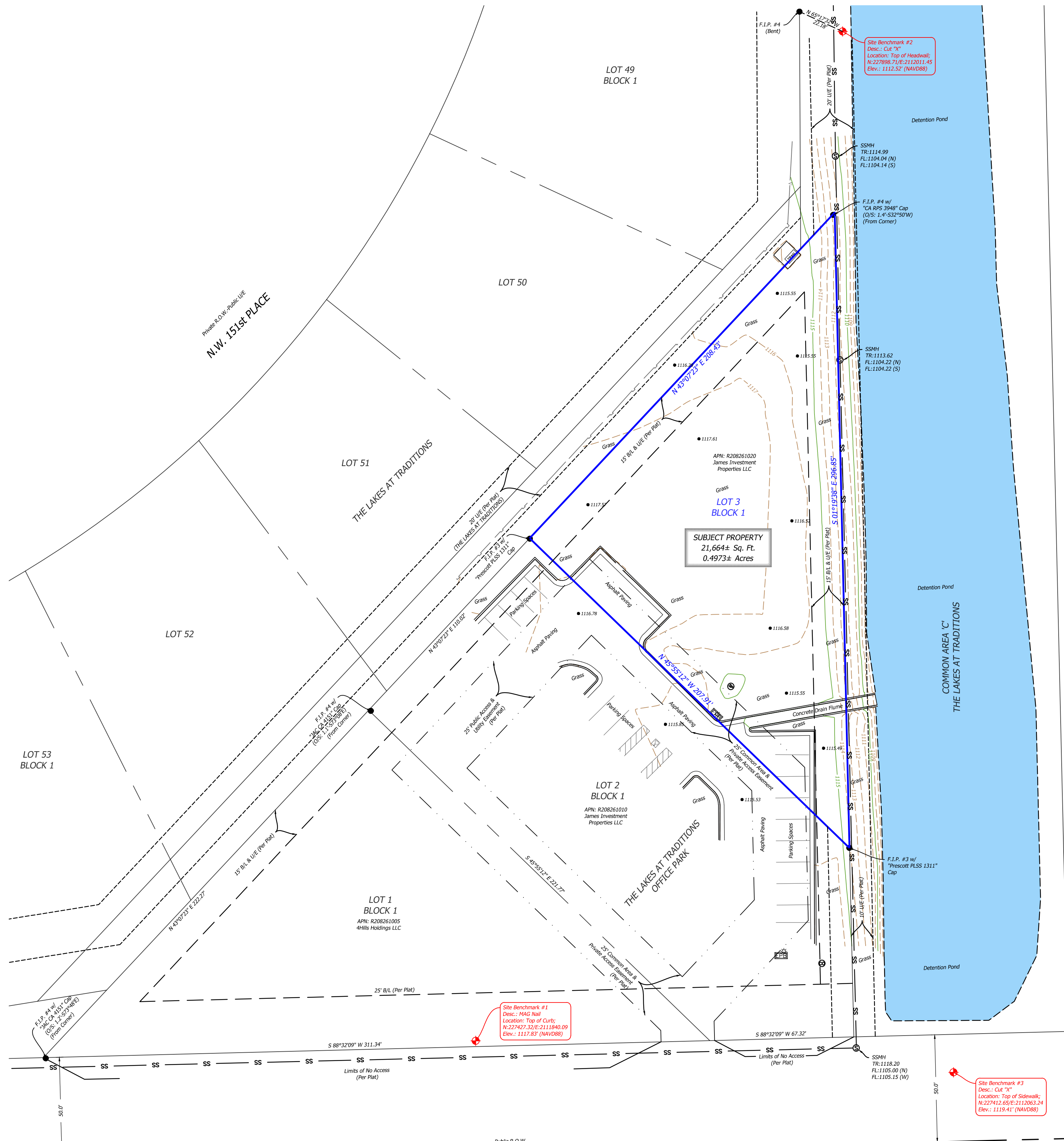
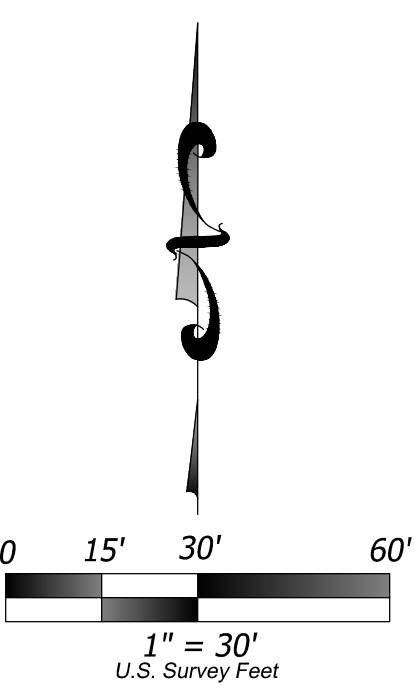
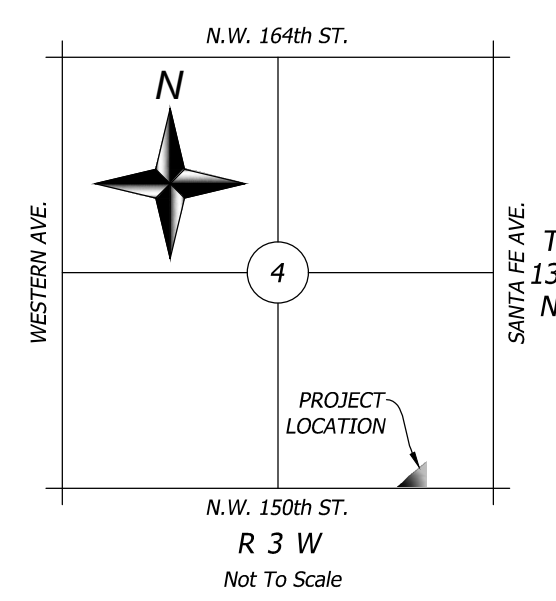
Sheet Number:

C6.0

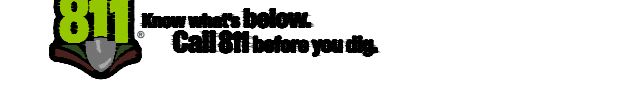
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# Exhibit C



**UTILITY NOTE**  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that utilities are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

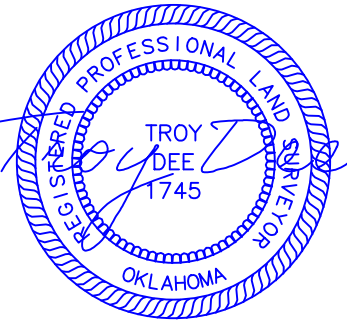


LEGEND			
	POWER POLE		GAS METER
	LIGHT POLE		GAS VALVE
	GUY ANCHOR		GAS MASKER
	ELECTRIC METER		OIL PIPELINE MARKER
	ELECTRIC BOX		MAIL BOX
	ELEC. TRANSFORMER		SIGN
	ELEC. MANHOLE		FLAG POLE
	ELEC. PEDESTAL		FIRE HYDRANT
	ELEC. PULL BOX		WATER MANHOLE
	SPOT LIGHT		WATER VALVE
	SANITARY SEWER MANHOLE		WATER METER
	SANITARY SEWER CLEANOUT		DOWN SPOUT
	STORM SEWER MANHOLE		AIR CONDITIONER
	TELEPHONE RISER		TRAFFIC SIGNAL
	TELEPHONE MANHOLE		TRAFFIC SIGNAL BOX
	TELEPHONE MARKER		TRAFFIC SIGNAL PULL BOX
	TELEPHONE PULL BOX		PEDESTRIAN CROSSING SIGNAL
	FIBER OPTIC MARKER		GREASE TRAP
	FIBER OPTIC PULL BOX		KEY PAD
	CABLE TV PEDESTAL		SECTION CORNER
	CABLE MARKER		QUARTER CORNER
	CABLE TV PULL BOX		SET IRON PIN W/ CAP
	IRRIGATION CONTROL VALVE		SET MAG NAIL W/ WASHER
	SPRINKLER HEAD		FOUND MONUMENT
	ROLLARD		RIGHT OF WAY MARKER
	FIRE DEPARTMENT CONNECT		YARD HYDRANT/SPRICKET
	PROPANE TANK		BENCHMARK
	WATER LINE		WELLHEAD
	GAS LINE		CHAIN LINK FENCE
	SANITARY SEWER LINE		WOOD PANEL FENCE
	TELEPHONE LINE		IRON FENCE
	ELECTRIC LINE		FIBER OPTIC LINE
	OVERHEAD POWERLINE		PROPERTY LINE
	BARBED WIRE FENCE		LOT LINE
	S.I.P. - SET IRON PIN		EASEMENT LINE
	I.P. - IRON PIN		SECTION LINE
	C.O.P. - CORRUGATED METAL PIPE		
	B.I.U. - BUILDING LIGHT LINE		
	R.C.P. - REINFORCED CONCRETE PIPE		
	U.E. - UTILITY EASEMENT		

**LEGAL DESCRIPTION**  
Lot Three (3), Block One (1) of THE LAKES AT TRADITIONS-OFFICE PARK, being a part of the SE 1/4 of Section 14, Township 13 North, Range 3 West of the Indian Meridian, Oklahoma City, Oklahoma, according to the recorded Plat thereof. Recorded in Document No. 2007104787, Book 65, Pages 30-31, Official Office of the Oklahoma County Clerk, State of Oklahoma.  
Containing 21,664± Sq. Ft. or 0.4973± Acres, more or less.

**GENERAL NOTES**  
1. Said described property in, by graphical plotting only, located within an area having a Zone Designation "X" (Unshaded) by FEMA, on Flood Insurance Rate Map No. 40108C0160H, dated 12/18/2009.  
2. The Property has indirect access to N.W. 150th Street, being a dedicated public street, via platted easement.  
3. There is no observed evidence of current earth moving work, building construction or building additions.  
4. There are no proposed changes in street right of way lines, to the best of my knowledge. There is no observed evidence of recent street or sidewalk construction or repairs.  
5. There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.  
6. The bearing of South 01° 12' 30" East as shown on the East line of the subject property per recorded Plat and Oklahoma State Plane Grid North was used as the basis of bearing for this survey.  
7. This survey was conducted without the benefit of a Title Commitment, there may be matters benefiting or burdening the subject property unknown to the surveyor.  
8. All unit of measurements are US Survey feet (Ground).

**TOPOGRAPHIC SURVEY**  
I, Troy Diez, certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision; that this ground survey was performed at the 95% percent confidence level to meet Federal Geographic Data Committee Standards; that this survey was performed to meet the requirements for a topographic/planimetric survey and meets the Oklahoma Minimum Technical Standards for the practice of land surveying as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors. The original data was obtained on 05/16/2023; that the survey was completed on May 23, 2023; that contours shown as (broken lines) may not meet the stated standards; and all coordinates are based on Oklahoma State Plane Grid North NAD 83 and realization all elevations are based on NAVD 88.



May 23, 2023

TOPOGRAPHIC SURVEY  
OF  
225 NW 150TH ST. - OKC  
Prepared By  
**GOLDEN**  
LAND SURVEYING  
4131 N.W. 122nd St., Suite 100, Oklahoma City, Oklahoma 73120  
C.A. # 7263 / Exp. Date = 6/30/2024  
Telephone: (405) 849-6010 Email: troy@goldens.com  
Dated by: SD  
Plot Date: May 23, 2023 Paper Size: 24"x36"  
G.L.S. Job No.: 231468