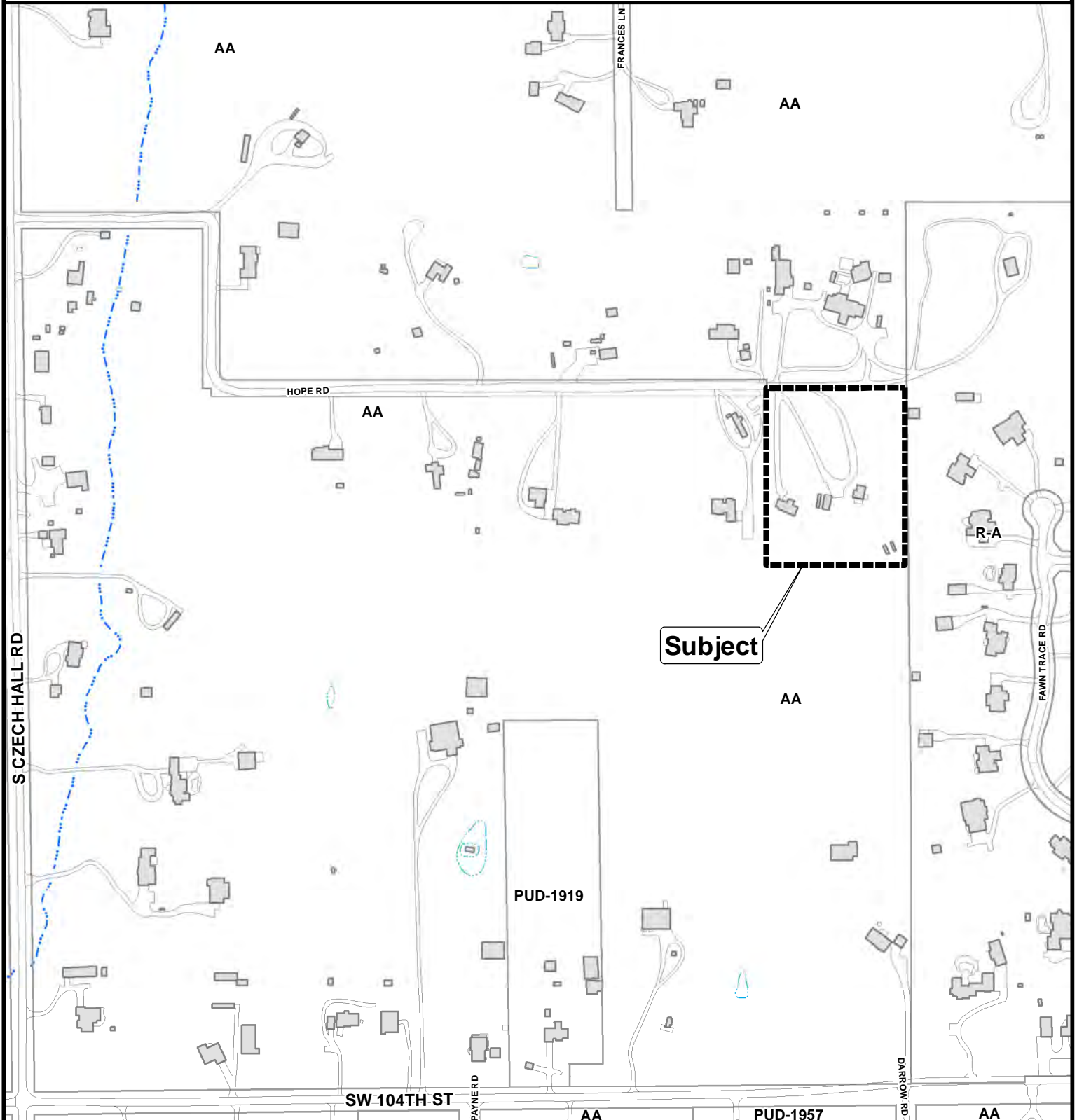


Case No: SPUD-1673

Applicant: Wesley D. White and Cheryl A. White

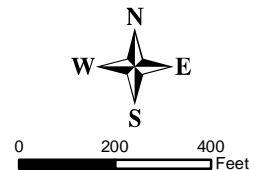
Existing Zoning: AA

Location: 11744 Hope Rd.



The City of
OKLAHOMA CITY

Simplified Planned Unit Development



THE CITY OF OKLAHOMA CITY
SIMPLIFIED PLANNED UNIT DEVELOPMENT

SPUD-1673

MASTER DESIGN STATEMENT

FOR

11744 Hope Road
Mustang, Oklahoma 73064

August 28, 2024

PREPARED BY:

Mr. Charles W. Allen
Allen Engineering Services, Inc.
1601 SW 89th Street, Suite C-200
Oklahoma City, Oklahoma 73159
Tel: (405) 840-9901
Fax: (405) 681-4881
E-mail: callen@aeswins.com

FOR:

Wesley D. & Cheryl A. White
11744 Hope Road
Mustang, Oklahoma 73064
Tel: (405) 819-3770

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020).

I. Special Development Regulations:

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those, which are in effect at the time of development of this Simplified Planned Unit Development, provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City’s Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended (“Code”), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

This site will be developed in accordance with the regulation of the **AA, Agricultural District** (OKC Zoning Ordinance, 2020), except that the following restrictions will apply:

1. The following uses are permitted within this SPUD:
Permitted Use Units:
Single-family Residential (8200.14), and
Two-family Residential (8200.16).
2. Minimum lot size: 5 Acres.
3. Maximum lot coverage: Residential Uses: 5%.
4. Density: 4 Dwelling Units per 5 Acres.
5. Minimum lot width: 150 feet.
6. Maximum Building Height: 45 Feet.
7. Maximum Building Size: Per base zoning district.
8. Maximum Number of Buildings: Four (4) Dwellings and Two (2) Accessory Buildings

9. Building Setback Lines

North:	50' Front
South:	25' Rear
East:	25' Side
West:	25' Side
10. Sight-proof Screening: No sight-proof screening shall be required for this SPUD.
11. Landscaping: The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development.
12. Signs:
 - 12.1 Freestanding Accessory Signs: No freestanding accessory signs or pole signs will be allowed in this SPUD. Electronic Message Display signs shall not be permitted in this SPUD.
 - 12.2 Attached Signs: Attached signs will be in accordance with the base zoning district regulations.
 - 12.3 Non-accessory Signs: Non-accessory signs are specifically prohibited in this SPUD.
13. Access: Access to the property shall be from Hope Road.
14. Sidewalks: No sidewalks shall be required for this SPUD.

II. Other Development Regulations:

1. Architecture: Architecture shall meet the base zoning requirements in place at the time of building permit submittal.
2. Open Space: Yard requirements in this SPUD shall be as shown on Exhibit B, Master Development Plan.
3. Street Improvements: A Fire Apparatus Access Road Turnaround in accordance with the 2018 International Fire Code, Appendix D, Fire Apparatus Access Road shall be provided and approved by the Fire Marshal. Driving surface shall be allowed to be a minimum of 6-inch compacted crushed rock.
4. Lighting: The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.
5. Dumpsters: Dumpsters are not permitted except during construction. Residential trash collection will be utilized to serve this site.
6. Lot Line Adjustment: No lot line adjustment shall be allowed by administrative deed approval for this SPUD. Platting or re-platting shall not be required for the SPUD.

7. Maintenance: Maintenance of the common areas, private drainage easements, and islands/medians in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.
8. Drainage: Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.

III. Supporting Documents

- Exhibit A: Legal Description
- Exhibit B: Master Development Plan

Exhibit "A"
Legal Description

SPUD-_____
11744 Hope Road

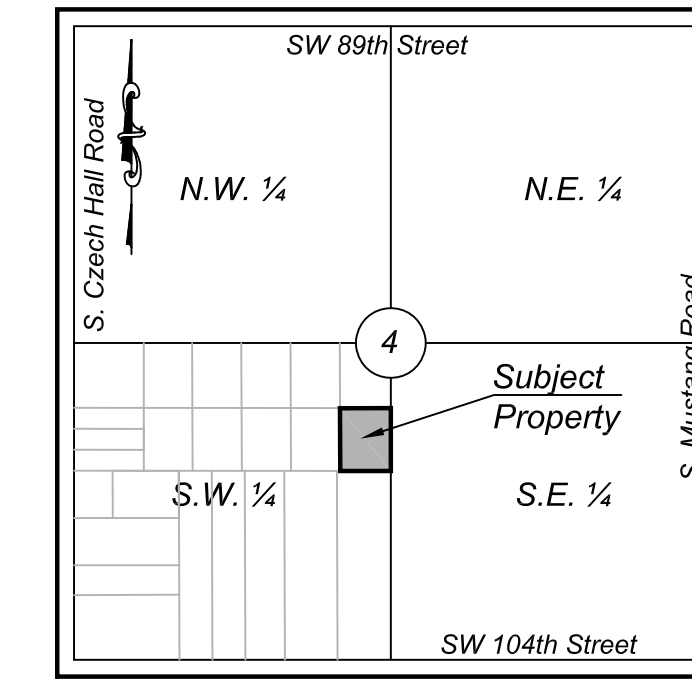
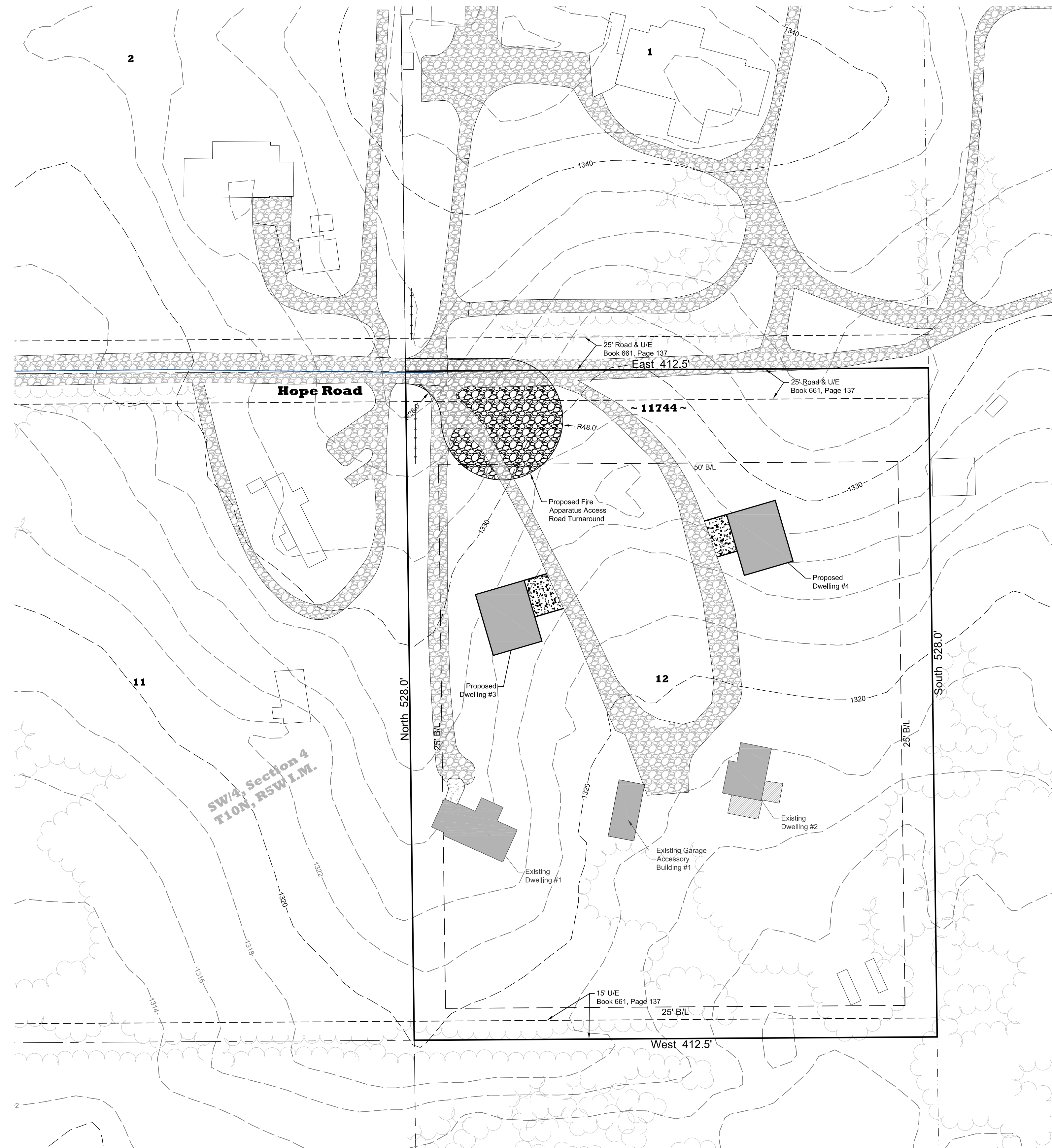
Statutory Warranty Deed - Book 3292, Page 97

Part of the North half (N1/2) of the Southwest Quarter (SW/4) of Section Four (4), Township Ten (10) North, Range Five (5) West of the Indian Meridian, more particularly described as follows, to wit: Beginning at a point 1056 feet South and 2654.05 feet East of the Northwest corner (NW/C) of Southwest Quarter (SW/4); said point being in the East line of said SW/4; Thence North 528 feet; Thence West 412.5 feet; Thence South 528 feet; Thence East 412.5 feet to the Point of Beginning.

Exhibit B ~ Master Development Plan

Part of the SW/4, Section 4, T10N, R5W I.M.

Oklahoma City, Canadian County, Oklahoma

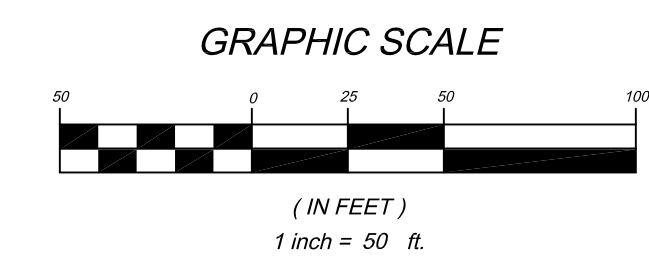


Vicinity Map
Section 4, Township 10N, Range 5W
Not To Scale

Legal Descriptions

Statutory Warranty Deed - Book 3292, Page 97

Part of the North half (N1/2) of the Southwest Quarter (SW/4) of Section Four (4), Township Ten (10) North, Range Five (5) West of the Indian Meridian, more particularly described as follows, to wit: Beginning at a point 1056 feet South and 2654.05 feet East of the Northwest corner (NW/C) of Southwest Quarter (SW/4); said point being in the East line of said SW/4; Thence North 528 feet; Thence West 412.5 feet; Thence South 528 feet; Thence East 412.5 feet to the Point of Beginning.



Legend

	SUBJECT PROPERTY		PP POWER POLE
	PROPERTY LINE		TELEPHONE PEDESTAL
	RIGHT-OF-WAY LINE		WELL
	SECTION LINE		1 ST YARD HYDRANT
	UNDERGROUND GAS LINE		SEPTIC LIDS
	BARBED WIRE FENCE		ELECTRIC TRANSFORMER
			LIGHT POLE



THE UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE INFORMATION AVAILABLE. THIS IS NOT IMPLIED NOR INTENDED TO BE THE COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT IS THE CLIENT'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.

NO.	REVISION/ISSUE	DATE

CLIENT
Wesley D. & Cheryl A. White
11744 Hope Road
Mustang, Oklahoma 73064



PROJECT NAME
White Property
11744 Hope Road
Part of the SW/4, Section 4, T10N, R5W I.M.
Oklahoma City, Oklahoma
Master Development Plan

PROJECT NO.	6764
FILE	6764SPUD
DATE	08-27-2024
DRAWN BY	JMS
CHECKED BY	CWA
FIELD CREW	N/A

SHEET
1
OF 1