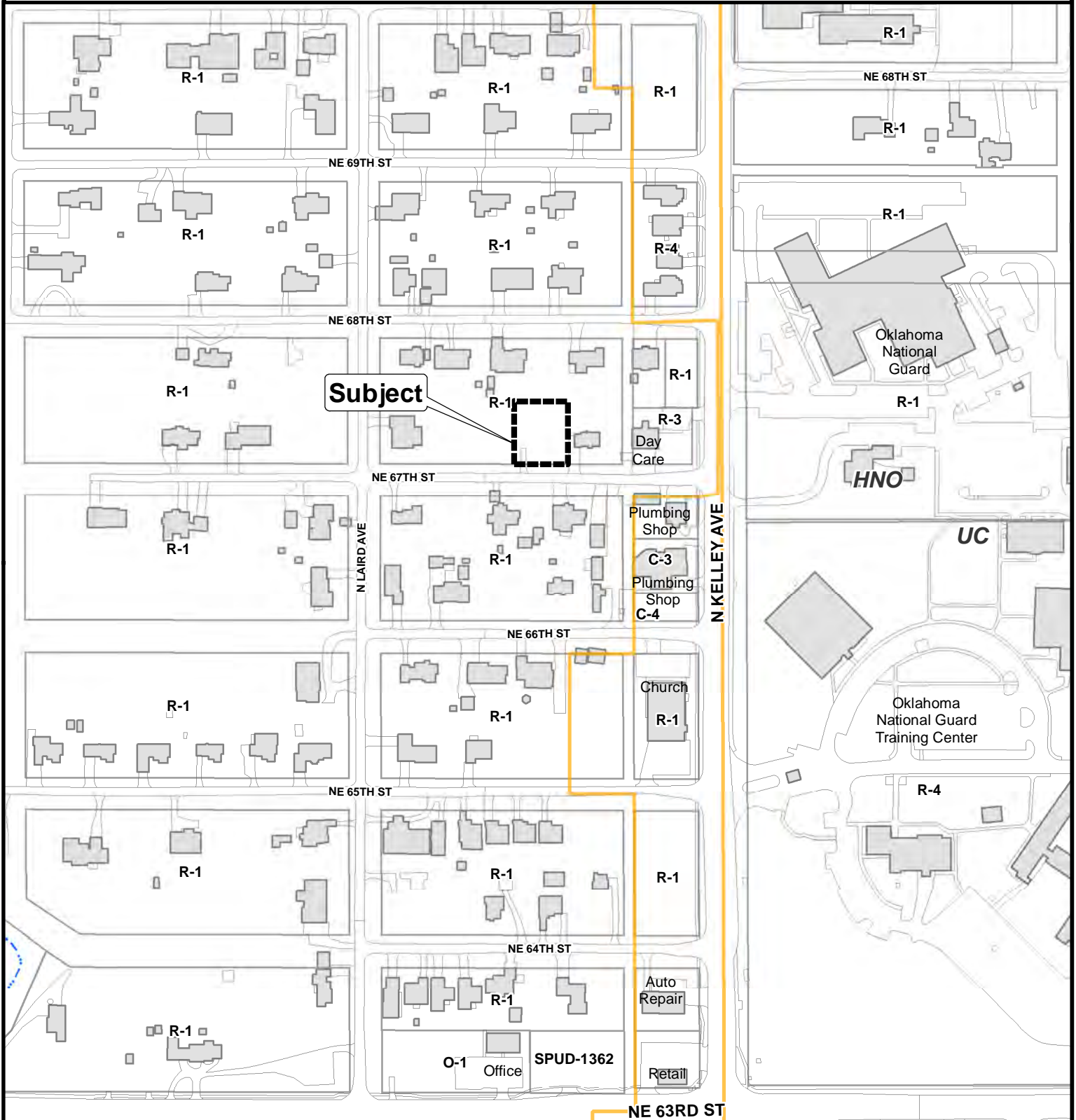


Case No: SPUD-1687

Applicant: From Jacksonville, LLC

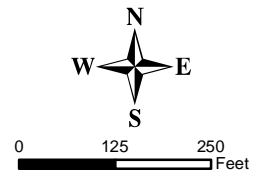
Existing Zoning: R-1

Location: 923 NE 67th St.



The City of OKLAHOMA CITY

# Simplified Planned Unit Development



To maintain consistency, preserve readability, and minimize delays please maintain the formatting of this document to the maximum extent possible.

Sections may be added as necessary.

**THE CITY OF OKLAHOMA CITY**  
**SIMPLIFIED PLANNED UNIT DEVELOPMENT**  
**SPUD-(XXXX)**  
**MASTER DESIGN STATEMENT**

**OCTOBER 09, 2024**

**PREPARED BY:**

100% HOMES & CONSTRUCTION LLC.  
*JERMELL SHERMAN*  
*PO BOX 557494*  
*OKC, OK 73155*  
*405-982-5150*  
*JERMELLSHERMAN21@YAHOO.COM*

# **SPUD-(XXXX MASTER DESIGN STATEMENT**

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

## **I. Special Development Regulations:**

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those that are in effect at the time of development of this Simplified Planned Unit Development; provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

1. This site will be developed in accordance with the regulation of the **(Base Zoning -R3(?) District** (OKC Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

The following use(s) will be the only use(s) permitted on this site:

(List Use Unit Classification (s))

- 1.1 Minimum Lot Size: 116'**
- 1.2 Minimum Lot Width:100'**
2. **Maximum Building Height: 31'**
3. **Maximum Building Size: 5055**
4. **Maximum Number of Buildings: 2**

**5. Building Setback Lines**

Front Yard:	25'
Rear Yard:	10'
Side Yard:	5'
Corner Side Yard:	5'

**6. Sight-proof Screening:**

**7. Landscaping: 4 small trees and 8 small shrubs**

**8. Signs:N/A**

**8.1 Free standing accessory signs**

**8.2 Attached signs**

**8.3 Non-Accessory Signs**

**8.4 Electronic Message Display signs**

**9. Access: Driveway(?)**

**10. Sidewalks N/A**

**II. Other Development Regulations:**

**1. Architecture: Modern design with facade consisting of Stone, Stucco, and Wood**

Exterior building wall finish on all structures shall consist of a minimum 70% brick veneer, masonry, rock, stone, stucco, or wood, or other similar type finish. A maximum of 30% EIFS (Exterior Insulation Finish System) material shall be permitted. Exposed metal or exposed concrete block buildings shall not be permitted.

- 2. Open Space: Front and Back Yards**
- 3. Street Improvements:N/A**
- 4. Site Lighting: N/A**
- 5. Dumpsters: Personal Trash Containers**
- 6. Parking: 2-car garage, 2 parking spots in front of garage**
- 7. Maintenance: (?)**
- 8. Drainage: Ground/Concrete to slope to street for drainage**
- 9. Other:**

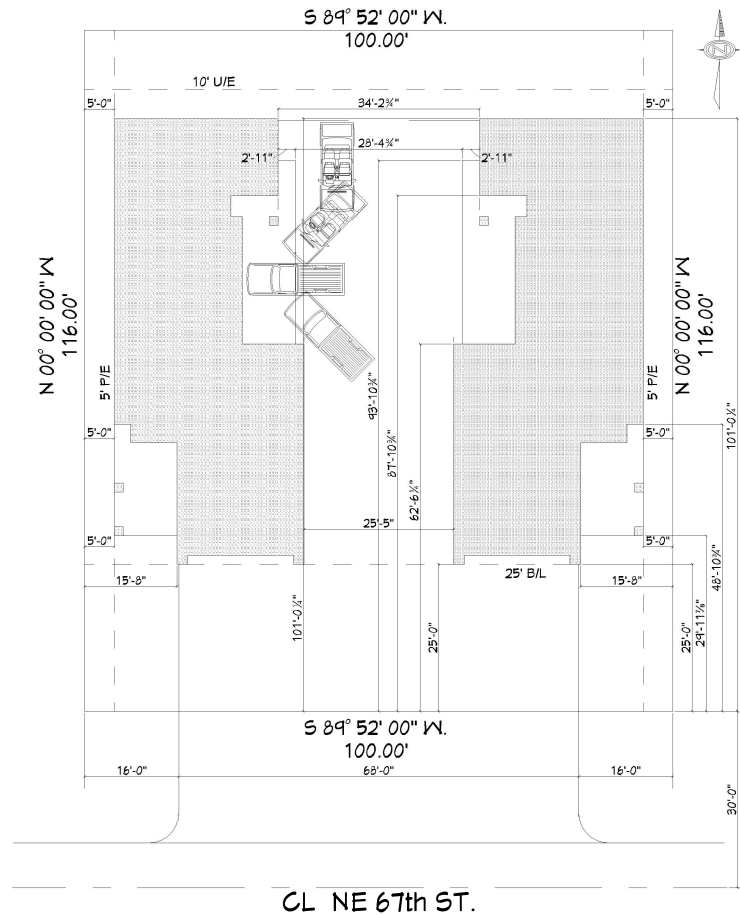
### **III.Supporting Documents**

Exhibit A: Legal Description

Exhibit B: Site Plan

PROPERTY ADDRESS: 923 NE 67<sup>TH</sup> ST OKC, OK 73105

LEGAL DESCRIPTION: RAVENSWOOD MANOR ADD BLOCK 017, LOTS 38, 39, 40,41



**SITE PLAN**  
 HOUSE FOR:  
**67 STACKS**  
 ADDRESS:

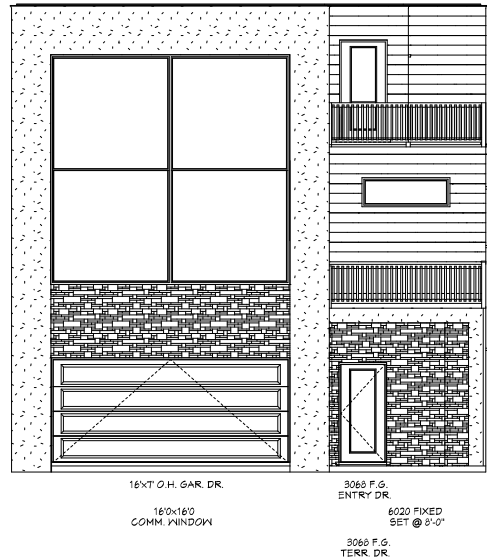
**DESIGNER: JOSH McCANDLESS**  
 PHONE: (405)-208-3344  
 EMAIL: DES.JOSHMAC@YAHOO.COM  
 PROJECT: 2322

VENEER	1427/1949
LOWER FRAME	419/422
MAIN FRAME	991/1034
UPPER FRAME	438/406
TOTAL FRAME	1848/1862
PATIO	176/254
GARAGE	477/438
TOTAL UNDER ROOF	5055

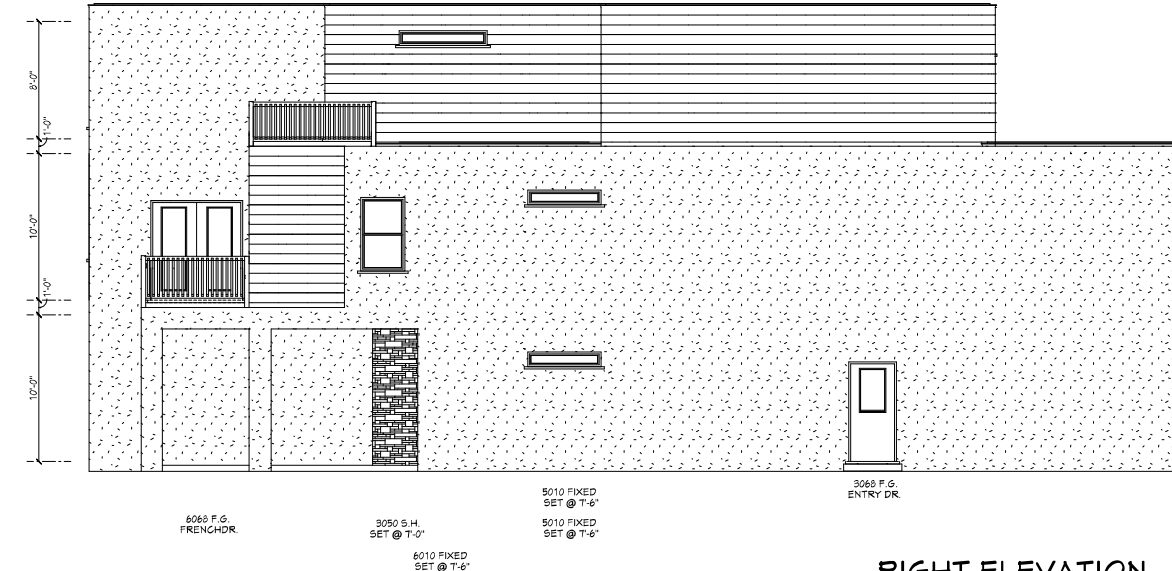
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 1"=10'-0"



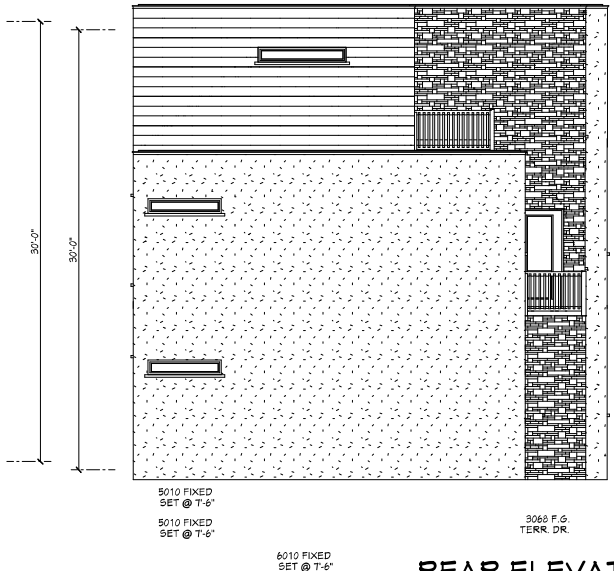
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

<b>ELEVATIONS</b>	
HOUSE FOR: <b>6T STACKS</b>	
ADDRESS:	
<b>DESIGNER: JOSH MCCANDLESS</b>	
PHONE: (405) 208-3344	
EMAIL: DES.JOSHMAC@YAHOO.COM	
PROJECT: 2322	
VENEER	1927/1949
LOWER FRAME	419/422
MAIN FRAME	991/1034
UPPER FRAME	438/406
TOTAL FRAME	1848/1862
PATIO	176/254
GARAGE	477/438
TOTAL UNDER ROOF	5055
DATE	9/8/2024
SCALE	1/4"=1'-0"
PAGE	<b>3</b>
	OF 5